

IMPROVEMENT PLANS FOR RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH AREA 1, PHASE A

TRACT #

A PORTION OF SECTION 4, TOWNSHIP 20 NORTH, RANGE 18 WEST,
GILA AND SALT RIVER MERIDIAN,
MOHAVE COUNTY, ARIZONA

ENGINEERS ESTIMATED QUANTITIES

SEWER

ITEM	QUANTITY
8" P.V.C. SEWER LINE	20,560 LF
48" DIA. SANITARY SEWER MANHOLES	76 EA
4" SEWER LATERAL	508 EA
8" SEWER STUM AND CAP	19 EA

STORM DRAIN

ITEM	QUANTITY
30" RCP STORM DRAIN	755 LF
4' X 4' ROBC	330 LF
6' X 4' ROBC	320 LF
XX TYPE XX DRAINAGE INLET	4 EA

WATER

ITEM	QUANTITY
8" P.V.C. WATER LINE	12,730 LF
8" GATE VALVE	40 EA
8" 11.25' BEND	7 EA
8" 22.5' BEND	4 EA
8" 45' BEND	6 EA
8" X 8" X 8" TEE	15 EA
8" X 8" X 8" X 8" CROSS	2 EA
FIRE HYDRANT ASSEMBLY (INCLUDES 8" GATE VALVE)	24 EA
8" CAP W/3" BLOWOFF ASSEMBLY	10 EA
3/4" WATER METER	316 EA
1" WATER LATERAL	316 EA

STREETS

ITEM	QUANTITY
A.C. PAVEMENT	2,730 CY
TYPE II AGGREGATE BASE	9,250 CY
STREET NAME SIGN	42 EA
STOP SIGN	21 EA
SPEED LIMIT SIGN	18 EA
NO PARKING SIGN	73 EA
30" ROLL CURB & GUTTER	24,180 LF
SIDEWALK	54,680 SF
VALLEY GUTTER	6,820 SF
DRIVEWAY	318 EA
STREET LIGHT AND POLE	102 EA
STREETLIGHT CONDUIT	13,960 LF
SURVEY MONUMENTS	TBD EA

NOTE: QUANTITIES SHOWN ARE APPROXIMATIONS ONLY.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR
CALCULATING THE EXACT QUANTITIES.

LAND USE INFORMATION

FLOOD ZONE DESIGNATION:	FEMA-C
TOTAL ACRES: PHASE A = 67 AC (169.02 AC - AREA 1 TOTAL)	
TOTAL LOTS: PHASE A = 318 UNITS (888 UNITS - AREA 1 TOTAL)	
AVERAGE LOT SIZE:	7,097 S.F.
MINIMUM LOT SIZE:	5,400 S.F.
DENSITY:	4.6 D.U./ACRE
LAND USAGE AND ZONING:	
CURRENT LAND USAGE:	VACANT
PROPOSED LAND USAGE:	SINGLE FAMILY RES
PROPOSED ZONING:	MASTER PLAN
COMMON ELEMENT:	5.27 ACRES
PARK, DRAINAGE AREAS	

GEOTECHNICAL EVALUATION BY: AMERICAN SOILS ENGINEERING, LLC
(702) 858-9517, FAX (702) 858-9514, REPORT DATED SEPT 12, 2005,
PWL NO. 1080-022

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN
HEREON ARE APPROXIMATE
ONLY. IT SHALL BE THE
CONTRACTOR'S RESPONSIBILITY
TO DETERMINE THE EXACT
HORIZONTAL AND VERTICAL
LOCATION OF ALL EXISTING
UNDERGROUND OR OVER-
HEAD UTILITIES PRIOR TO
COMMENCING CONSTRUCTION.
NO REPRESENTATION IS MADE
THAT ALL EXISTING UTILITIES
ARE SHOWN HEREON. THE
ENGINEER ASSUMES NO
RESPONSIBILITY FOR UTILITIES
NOT SHOWN OR UTILITIES
NOT SHOWN IN THEIR PROPER
LOCATION.

Ask every underground
utility that it's really
before
Call
you
Dig
1-800-752-3548
(Toll Free)

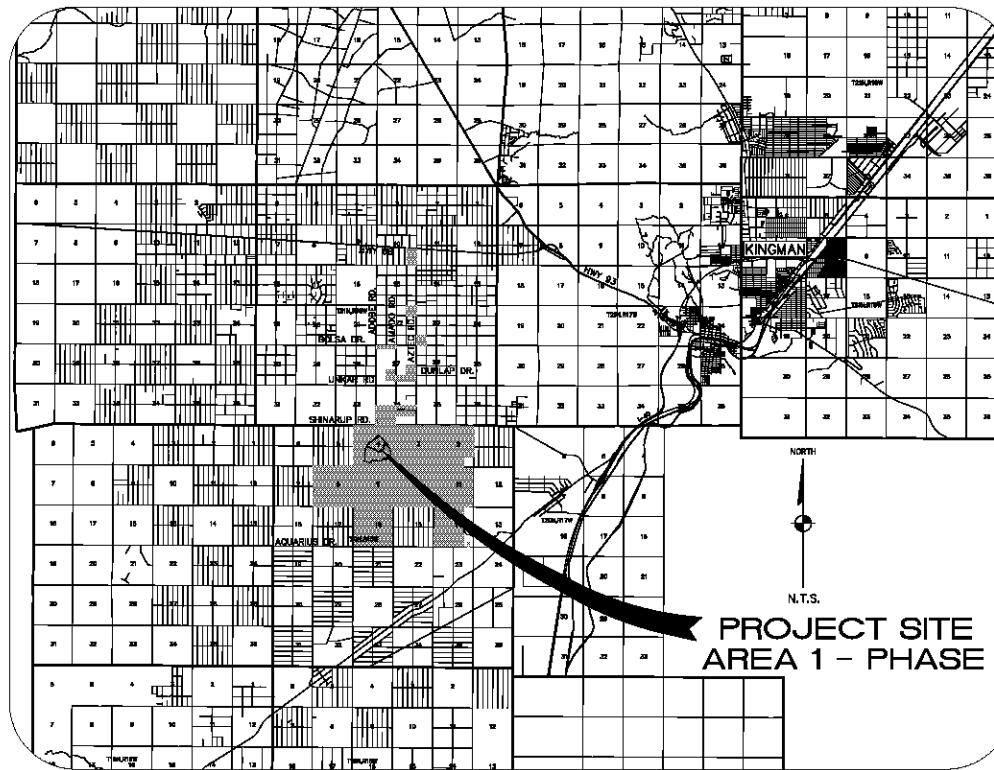
Ask method power
line location
before
Call
you
Overhead
1-876-752-5551
(Toll Free)

UTILITIES

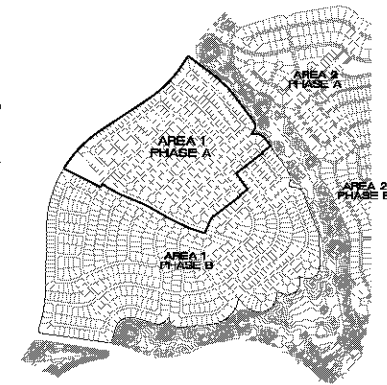
SEWAGE DISPOSAL:	PERKINS MOUNTAIN WATER COMPANY	TBD
WATER:	PERKINS MOUNTAIN WATER COMPANY	TBD
ELECTRICITY:	UNISOURCE ENERGY	2498 AIRWAY AVENUE (928) 681-4129
TELEPHONE:	FRONTIER COMM.	2325 STOCKTON HILL (928) 733-3000
GAS:	UNISOURCE ENERGY	2498 AIRWAY AVENUE (928) 681-4129
SOLID WASTE COLLECT:	WASTE MANAGEMENT	3250 GATLIN DRIVE (928) 716-6000
SOLID WASTE DISPOSAL:	MOHAVE COUNTY	201 N. 4TH STREET (928) 733-0733
FIRE PROTECTION:	GOLDEN VALLEY DIST.	3327 N. MYER RD. (928) 505-3479

VICINITY MAP

N.T.S.



PROJECT SITE
AREA 1 - PHASE A



KEY MAP
SCALE: 1" = 100'

OWNER

SOUTH DAKOTA CONSERVANCY LLC
4730 S. FORT APACHE RD.
SUITE 300
LAS VEGAS, NEVADA 89147
(702) 473-5538

DEVELOPER

RHODES HOMES ARIZONA, LLC
2215 HUALAPPA AVE. RD.
SUITE 11
KINGMAN, ARIZONA 86401
(928) 716-2210

ENGINEER / SURVEYOR

STANLEY CONSULTANTS, INC.
5820 S. EASTERN AVENUE
SUITE 200
LAS VEGAS, NEVADA 89119
(702) 381-8388

BASIS OF BEARINGS

NORTH 001°38' EAST - THE WEST LINE OF THE NORTHWEST QUARTER
(NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, GILA &
SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE
ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NM), WEST ZONE,
INTERNATIONAL FOOT (FT) UTILIZING FAST STATIC OBSERVATIONS
PROCESSED BY NGS-DRUS.

N.C.S.D. "SD 32" - LATITUDE 35°08'23.70534"N
LONGITUDE 114°08'21.57240"W (NAD '83)
HEIGHT 2562.463911m (NAVD 83)

STONE 1/4 COR 3/2 - LATITUDE 35°08'25.53360"N
LONGITUDE 114°07'50.72281"W (NAD '83)
HEIGHT 2496.204581m (NAVD 83)

BENCHMARK

BENCHMARK: # "SD 34" N.C.S.D.
ELEVATION - 2580.24273 FT (NAVD '83)

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 95 FT. NORTHEAST OF
THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 18 W. AND THE
INTERSECTION OF SHIRAZ RD. AND HOPE RD., STAMPED "SD 34 1988
RLS 10343"

CONTRACTOR'S NOTE

CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY
DISCREPANCY BETWEEN INFORMATION ON PLANS AND EXISTING
SITE CONDITIONS.

SOURCE OF TOPOGRAPHY

EXISTING GROUND TOPOGRAPHY WAS DEVELOPED FROM TWO SOURCES:
1. MOHAVE ENGINEERING AND ASSOCIATES, INC. (AERIAL - 2" CONTOURS); DATED 12/31/04
2. AEROTECH MAPPING (AERIAL - 2" CONTOURS); DATED 1/13/05
BOTH AERIAL SURVEYS WERE DONE ON NOV 28 AND WERE CONVERTED TO NAVD83 BY RAISING
SURFACE ELEVATIONS A DISTANCE OF 2.586 FT. BASED ON NGS-DRUS SOLUTIONS OF FAST STATIC
SURVEY ON MOHAVE COUNTY CONTROL POINT NO. 35.

SHEET INDEX

SHEET NO.	DWG NO.	DRAWING TITLE
1	C1	COVER SHEET
2	NOTES	GENERAL NOTES, ABBREVIATIONS, LEGEND
3-12	DT1-DT10	DETAILS
13-14	LCT-LC2	LINE AND CURVE DATA SHEET
15-26	GPI-GR12	GRADING PLANS
27-38	UPI-UP12	UTILITY PLANS
39-50	SL1-SL12	STREET LIGHT & TRAFFIC CONTROL PLANS
51-67	PP1-PP17	PLAN AND PROFILE SHEETS
68-79	OS1-OS12	OFF-SITE PLAN AND PROFILE SHEETS

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE
SOILS REPORT PREPARED BY: AMERICAN SOILS
ENGINEERING, LLC
DATED: 12 SEPTEMBER 05
PROJECT NO.: 1080-GE0

FEMA FLOOD ZONE

FEMA MAP, PANEL NO. 240505B 23250
MAP UPDATED: OCT 20, 2000
PHASE A OF AREA 1 LIES WITHIN AN AREA
DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH
IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



SCALE (X) NONE	SCALE (Y) NONE	DRAWN BY: CA/PJM	CHECKED BY: DB/SH	DATE: 3-10-06
----------------	----------------	------------------	-------------------	---------------

5820 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 381-8388
www.stanleyconsultants.com
Stanley Consultants Inc.
ARIZONA

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
COVER
MOHAVE COUNTY

SHEET
1 OF 79 SHEETS
SCI PROJECT#
18478

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH MOHAVE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS, AND OTHER COUNTY ADOPTED STANDARDS, UNLESS OTHERWISE APPROVED BY THE COUNTY ENGINEER, OR UNLESS APPROVED AS A PETITION OF EXCEPTION BY HEARING OF THE PLANNING AND ZONING COMMISSION AND THE BOARD OF SUPERVISORS.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY USE PERMIT FOR ANY WORK TO BE PERFORMED WITHIN THE RIGHT-OF-WAY UNDER THE OWNERSHIP OR CONTROL OF MOHAVE COUNTY. THE COUNTY RESERVES THE RIGHT OF SUPPLEMENTAL INSPECTION OF ALL CONSTRUCTION ACTIVITIES PERFORMED WITHIN THE COUNTY RIGHT-OF-WAY. THE CONTRACTOR SHALL NOTIFY THE COUNTY BY A COURTESY CALL PRIOR TO ENGAGING ANY MAJOR CONSTRUCTION ACTIVITIES WITHIN THE COUNTY RIGHT-OF-WAY.
3. THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH COUNTY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE COUNTY FROM REQUESTING CORRECTION OF ERRORS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. REVIEW AND APPROVAL OF PLANS DOES NOT RELEASE ANY DEVELOPER OR ENGINEER FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS ON SAID PLANS.
4. IMPROVEMENTS WILL NOT BE ACCEPTED UNTIL CERTIFIED RECORD DRAWINGS (AS-BUILTS), INCLUDING ALL TEST RESULTS, HAVE BEEN SUBMITTED AND ACCEPTED BY THE COUNTY.
5. THE DEVELOPER, ANY SUCCESSORS, AND AGENTS SHALL HOLD THE COUNTY OF MOHAVE, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
6. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS DEVELOPMENT PLAN.
7. A FLOODPLAIN USE PERMIT AND FINISHED FLOOR ELEVATION CERTIFICATE ARE REQUIRED FOR ALL PARCELS LOCATED WITHIN THE FEMA DESIGNATED AREAS OF SPECIAL FLOOD HAZARD FOR THE 100-YEAR STORM.
8. ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY PROPOSED DEVELOPMENT SHALL BE AT NO EXPENSE TO THE COUNTY.
9. THE CONTRACTOR SHALL FOLLOW ALL BLUE STATE LAWS AND NOTIFY BLUE STATE (1-800-STAKE-IT), BEFORE DIGGING.
10. ALL GRADING SHALL CONFORM TO THE UNIFORM BUILDING CODE, AS ADOPTED AND MODIFIED BY MOHAVE COUNTY.
11. DELETERIOUS MATERIAL IS DEEMED UNSUITABLE BY THE SOILS ENGINEER FOR USE AS COMPACTED FILL SHALL BE EXCAVATED AND REMOVED FROM THE SITE.
12. WHERE SOIL IS TO BE REMOVED FROM THE SITE, THE CONTRACTOR SHALL DEMARK THE LOCATION WHERE THE FILL WILL BE PLACED AND OBTAIN A LETTER FROM THE OWNER OF THAT PROPERTY ALLOWING THE PLACEMENT OF THE MATERIAL. PLACEMENT OF THIS MATERIAL SHALL BE SUBJECT TO THE APPLICABLE REQUIREMENTS AND PERMITS OF THE GOVERNING JURISDICTION.
13. ALL REQUIRED TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
14. EXCEPT FOR THE WORK PERFORMED UNDER THE TERMS OF A FRANCHISE, OR WORK PERFORMED BY A GOVERNMENTAL AGENCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT ALL WORK IS INSPECTED AND TESTED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER WHO SHALL HOLD A VALID REGISTRATION IN THE STATE OF ARIZONA.
15. THE CONTRACTOR SHALL NOT GRADE ANY PARCELS WITH OUTSIDE PRIVATE OWNERSHIP UNTIL PERMISSION TO GRADE HAS BEEN GRANTED BY THE PROPERTY OWNER.
16. THE CONTRACTOR SHALL NOT GRADE ANY ARMY CORPS OF ENGINEERS (ACEC) 404 DESIGNATED WASHES UNTIL 404 PERMIT APPROVAL HAS BEEN GRANTED.
17. AN APPROVED GRADING PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATION FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
18. ALL EXCAVATION AND GRADING OPERATIONS CONDUCTED WITHIN THE COUNTY LIMITS SHALL CONTROL DUST BY WATERING. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DUST CONTROL PERMITS.

SEWER

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MARIPOSA ASSOCIATION OF GOVERNMENTS (M.A.G.), AND IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE, TITLE 18, CHAPTER 8, TOGETHER WITH THESE PLANS.
2. THE LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATIONS AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:
 - BLUE STATE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.
3. WATER/SEWER SEPARATION INCLUDING SERVICE LINES WITHIN THE RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAILS 404-1 AND R18-1-1000 (LATEST REVISION). SEPARATION SHALL BE A MINIMUM OF 2' VERTICAL AND 8' HORIZONTAL.
4. CONTRACTOR SHALL ACQUIRE & PAY FOR ALL NECESSARY PERMITS.
5. SEWER MAIN PIPE AND SERVICE SHALL BE P.V.C. 30R-36, MEETING THE REQUIREMENTS OF A.S.T.M. 3534 AND M.A.G. SECTION 745. INSTALLATION SHALL BE IN ACCORDANCE WITH A.S.T.M. STANDARD SPECIFICATIONS 020321.
6. REQUIRED MANHOLES SHALL BE CONSTRUCTED PER M.A.G. STANDARD DETAIL NO. 420.
7. TRENCHING AND BACKFILL SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATION NO. 601. COMPACTION DENSITIES SHALL BE 95% FROM THE SURFACE TO 2' BELOW SURFACE.
8. ALL EXISTING STREET PAVEMENT DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH M.A.G. STANDARD DETAIL NO. 200.
9. ALL MANHOLE FRAME AND COVER GRADE ADJUSTMENTS REQUIRED SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 422.
10. SHAPING OF ALL SEWER MANHOLE BOTTOMS SHALL BE PER M.A.G. STANDARD SPECIFICATIONS NO. 636.3.1.
11. ALL MANHOLES AND DROP SEWER CONNECTIONS SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. SECTION 705. FOR MANHOLES THAT HAVE AN ELEVATION DROP BETWEEN INLET AND OUTLET BETWEEN 1' & 2.5', THERE SHALL BE CONSTRUCTED IN THE MANHOLE FLOOR A CONCRETE FILLET/CHANNEL FROM THE INLET SIDE OF THE MANHOLE TO THE OUTLET SIDE WHICH SHALL HAVE A SLOPE AT A MINIMUM GRADE OF 2.5% TO PREVENT SOLIDS DEPOSIT. FOR A DROP IN EXCESS OF 2.5', REFER TO M.A.G. STANDARD DETAIL NO. 426.
12. ALL SEWER SERVICE CONNECTIONS SHALL MEET THE REQUIREMENTS M.A.G. STANDARD DETAIL NO. 440. TYPE "A" NOTE: SEWER SERVICE CROSSING OF WATER MAIN WITHIN THE RIGHT OF WAY MAY REQUIRE PROTECTION PER M.A.G. STD. DET. 404.
13. SEWER ISOLATION SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 441.
14. MINIMUM DEPTH OF COVER TO THE TOP OF SEWER PIPE SHALL NOT BE LESS THAN 3 FEET.
15. UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK, SHALL BE RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.
16. ALL SEWER SERVICES SHALL REQUIRE THE INSTALLATION OF ELECTRODRAINIC ANODES PER THE REQUIREMENTS OF M.A.G. STANDARD DETAIL 440-1.
17. ALL SEWER SERVICES SHALL REQUIRE A STAMP DETAIL AT CURB CROSSINGS PER THE REQUIREMENTS OF M.A.G. STANDARD DETAIL 440-4.

WATER

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MARIPOSA ASSOCIATION OF GOVERNMENTS (M.A.G.), IN ACCORDANCE WITH A.D.E.Q. ENGINEERING BULLETIN NO. 10, TOGETHER WITH THESE PLANS.
2. THE LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATIONS AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:
 - BLUE STATE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.
3. CONTRACTOR SHALL ACQUIRE & PAY FOR ALL NECESSARY PERMITS.
4. WATER MAIN SHALL BE P.V.C. PIPE CLASS 150, MEETING THE REQUIREMENTS OF A.W.W.A. C-900.
5. WATER SERVICE MATERIAL SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATIONS SECTION 705.
6. WATER LINES SHALL BE DEFLECTED IN ACCORDANCE WITH A.D.E.Q. ENGINEERING BULLETIN NO. 8.
7. WATER/SEWER SEPARATION SHALL MEET THE REQUIREMENTS OF R18-1-1000 (LATEST REVISION). SEPARATION SHALL BE A MINIMUM OF 2' VERTICAL AND 8' HORIZONTAL.
7. TRENCHING AND BACKFILL SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATION 601. COMPACTION DENSITIES SHALL BE 95% FROM THE SURFACE TO 2' BELOW SURFACE.
8. CURB STOP WITH FLUSHING PIPES SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. STANDARD DETAIL NO. 390. TYPE "A", AS AMENDED BY THE CITY OF MINIMAL.
9. ALL FITTINGS FOR WATER MAINS SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SECTION 752.
10. ALL THIRST BLOCKING FOR WATER LINES SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 380.
11. ALL BLOCKING FOR WATER GATE VALVES SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 301.
12. PAYMENT FOR CONSTRUCTION SHALL BE MADE ON THE BASIS OF UNIT PRICE BID IN THE CONTRACTORS PROPOSAL. ALL ITEMS CALLED FOR ON THE PLANS BUT NOT LISTED IN BID ITEMS SHALL BE CONSIDERED INCIDENTAL. SUCH ITEMS INCLUDE BUT ARE NOT LIMITED TO WATER LINE BLOCKING, NON-METALLIC TUBE, TESTING, SALVAGING MATERIAL, EXISTING UTILITIES CROSSING, ETC.
13. ALL TAPPING SLEEVES, VALVES AND VALVE BOXES ON WATER LINES SHALL MEET THE REQUIREMENTS OF M.A.G. SPECIFICATIONS SECTION 830, AND M.A.G. STANDARD DETAIL NO. 340.
14. WATER METER COVERS SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 310, AND WATER METER BOXES SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 330.
15. ALL FITTINGS AND VALVES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL VALVES ARE TO BE PLUMB AND HAVE STRAIGHT ALIGNMENT.
16. WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH M.A.G. SECTION 610-14, AND IN ACCORDANCE WITH M.A.G. SECTION 610-14 FOR DUCTILE IRON PIPE.
17. ALL EXISTING STREET PAVEMENT DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH M.A.G. STANDARD DETAIL NO. 200-1.
18. UTILITY FACILITIES SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK, SHALL BE RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.
19. INSTALL M.A.G. STANDARD DETECTABLE TAPES OR PLASTIC COATED (BLUE FOR WATER AND GREEN FOR SEWER) #8 WIRE FOR ALL WATER AND SEWER LINES.

STREET

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MARIPOSA ASSOCIATION OF GOVERNMENTS (M.A.G.), UNLESS OTHERWISE NOTED ON THE PLANS.
1. ALL DENSITY REQUIREMENTS FOR STREETS SHALL MEET THE REQUIREMENTS OF M.A.G. SPECIFICATION 301 AND M.A.G. SPECIFICATION 601 FOR ALL WATER AND SEWER TRENCHES. COMPACTION DENSITIES SHALL BE 95% FROM THE SURFACE TO 2' BELOW SURFACE.
2. THE EXACT LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATION AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:
 - BLUE STATE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.
3. ALL BACKFILL, PAVEMENT AND SURFACE REPLACEMENT SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 200-1 AND M.A.G. STANDARD SPECIFICATION SECTION 336. ALL TRENCHES SHALL MEET OSHA REQUIREMENTS.
4. ROADWAY EXCAVATION SHALL MEET THE REQUIREMENTS OF M.A.G. SPECIFICATION 200. M.A.G. SPECIFICATION 301 FOR WATERSHED AND M.A.G. STANDARD SPECIFICATION 301 FOR SUBGRADE PREPARATION.
5. CONTRACTOR SHALL REPLACE ANY INADEQUATE SUBGRADE MATERIAL WITH APPROPRIATE BACKFILL AS DIRECTED BY THE PROJECT ENGINEER.
6. ALL STREET AGGREGATE BASE SHALL MEET THE REQUIREMENTS OF M.A.G. SECTION 310.
7. ALL ASPHALT CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SECTION 331.
8. FOG SEAL SHALL MEET M.A.G. STANDARDS SECTION 333.
9. CONCRETE CURB AND GUTTER SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 220.
10. SIDEWALKS SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. STANDARD DETAIL NO.230 & SHALL CONFORM WITH M.A.G. SPECIFICATION 340.
11. ALL POURED CONCRETE STRUCTURES SHALL MEET THE REQUIREMENTS OF M.A.G. STD. SPECIFICATIONS, SECTION 555.
12. THE EXACT POINT OF MATCHING TERMINATION AND OVERLAY, IF NECESSARY, SHALL BE DETERMINED IN THE FIELD BY THE COUNTY ENGINEER OR AUTHORIZED REPRESENTATIVE.
13. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT AND PLACEMENT OF CONCRETE COLUMNS, FRAMES, COVERS, AND VALVE BOXES AS NECESSARY FOR A COMPLETE JOB AS APPROVED BY THE COUNTY ENGINEER.
14. NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UTILITY LINES ARE COMPLETED & APPROVED UNDER THIS PROPOSED PAVED AREA.
15. BASE COURSE SHALL NOT BE PLACED UNTIL SUBGRADE HAS BEEN APPROVED BY THE COUNTY ENGINEER.
16. NO JOB SHALL BE CONSIDERED COMPLETED UNTIL CURBS, PAVEMENTS AND SIDEWALKS HAVE BEEN BUILT UP TO ALL DIRT AND DUMPS, AND SURVEY MONUMENTS ARE INSTALLED.
17. THE LOCATION OF ALL WATER VALVES, FIRE HYDRANTS, AND MANHOLES MUST AT ALL TIMES DURING CONSTRUCTION BE REFLECTED BY THE CONTRACTOR AND MADE AVAILABLE TO THE COUNTY.
18. UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK, SHALL BE RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.
19. EXISTING STREET AND TRAFFIC SIGNS WILL BE MAINTAINED DURING CONSTRUCTION AND RELOCATED BY THE CONTRACTOR AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.
20. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW TRAFFIC CONTROL SIGNS AND MARKINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

STORM WATER POLLUTION PREVENTION PLAN

DATED SEPTEMBER, 2005 AND PREPARED BY:
STANLEY CONSULTANTS, INC.
5820 S. EASTERN AVE., SUITE 200
LAS VEGAS NV 89119
(702) 389-9388

SITE GRADING

ALL CONSTRUCTION SHALL CONFORM WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MARIPOSA ASSOCIATION OF GOVERNMENTS (M.A.G.), UNLESS OTHERWISE NOTED ON THE PLANS.

DRAINAGE REPORT

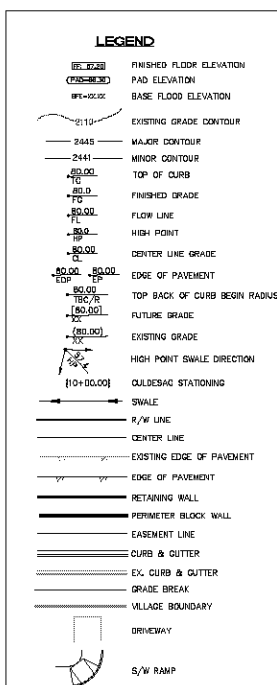
DATED APRIL, 2005 AND PREPARED BY:
STANLEY CONSULTANTS, INC.
5820 S. EASTERN AVE., SUITE 200
LAS VEGAS NV 89119
(702) 389-9388

ORIGINAL STUDY DATED OCTOBER, 2005
UPDATE DATED MARCH, 2006

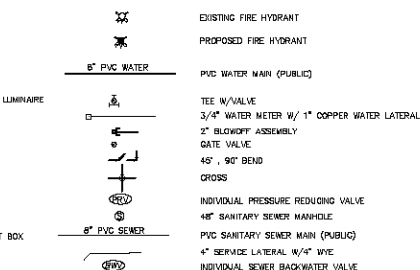
FEMA FLOOD ZONE

FEMA MAP: PANEL NO. 40008B 2325D
MAP UPDATE: OCT 30, 2000

A PORTION OF PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD ZONE "A". THE REMAINING PORTION OF PHASE B IS IDENTIFIED AS ZONE "X", WHICH IS OUTSIDE THE AREA OF THE 100-YEAR STORM. SEE GRADING PLANS FOR BOUNDARY LOCATIONS.

LEGEND

NOTE: ALL ABBREVIATIONS SHOWN ON THIS LEGEND MAY NOT APPEAR ON THIS SET OF DRAWINGS.

**ABBREVIATIONS**

AVE	AVENUE
BC	BACK OF CURB
BD	BACK OF DRIVE
BSL	BACK OF CURB LENGTH
BN	BENCH MARK
BTM	BEGINNING OF VERTICAL CURVE
CAV	CABLE TELEVISION
C&G	CURB AND GUTTER
C&G	COMMON ELEMENT
C/L OR E	CENTERLINE
C/S	CURB FOOT PER SECOND
CMP	CORRUGATED METAL PIPE
COMW DMY	COMMERCIAL DRIVEWAY
CONC	CONCRETE
CONST	CONSTRUCTION OR CONSTRUCT
CS	CURB STATIONING
CU YD	CURB YARD
E	ELECTRIC
EVC	END OF VERTICAL CURVE
EP	EDGE OF PAVEMENT
EX OR EXIST	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR
FG	FINISH GRADE
FL OR E	FLOW LINE
G	GRADE BREAK
GP	HIGH POINT
INV	INVERT
LEN	LENGTH
M&C	MIDPOINT OF VERTICAL CURVE
M.A.G.	MARIPOSA ASSOCIATION OF GOVERNMENTS
MH	MANHOLE
MV	MINIMUM
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
NTS	NOT TO SCALE
PVC	POLY(VINYL CHLORIDE)
PRVT	PRIVATE
PC	POINT OF CURVE
PCG	POINT OF COMPOUND CURVE
PI	POINT OF INTERSECTION
PRC	POINT OF REVERSE CURVE
PS	POUNDS PER SQUARE INCH
PV	POINT OF VERTICAL INTERSECTION
PT	POINT
PUE	PUBLIC UTILITY EASEMENT
PAE	PEDESTRIAN ACCESS EASEMENT
PER	REINFORCED CONCRETE
R/W	RIGHT OF WAY
SD	STORM DRAIN
SL/STLT	STREET LIGHT
SS	SANITARY SEWER
STD	STANDARD
S/W OR SW	SEWALK
TB	TO BE DETERMINED
TC	TOP OF CURB
TRANS	TRANSITION
(TYP)	TYPICAL
VC	VERTICAL CURVE
VO	VERTICAL
W	WATER
WN	WATER NETER
YD	YARD

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVER-HEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
1-800-787-3348
(1-800-787-3348)

Call before you overhead
1-828-762-5051
(1-828-762-5051)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

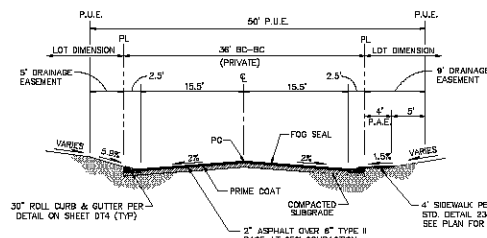


5820 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 389-9388
www.stanleyconsultants.com



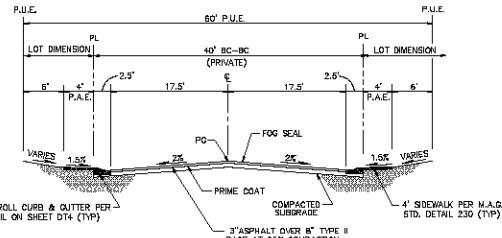
RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
NOTES

SHEET
NOTES
2 OF 79 SHEETS
SCI PROJECT#
18178



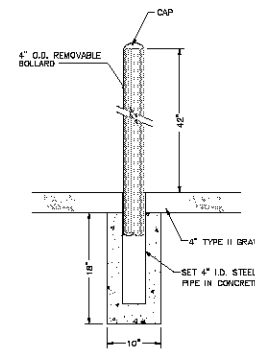
NOTE: FINAL PAVEMENT SECTIONS TO BE BASED ON ADDITIONAL R-VALUE TESTS PERFORMED DURING CONSTRUCTION OF THE ACTUAL SUBGRADE MATERIALS AND TRAFFIC INFORMATION.

A TYPICAL LOCAL STREET SECTION
PRIVATE / PUBLIC UTILITY EASEMENT
N.T.S.

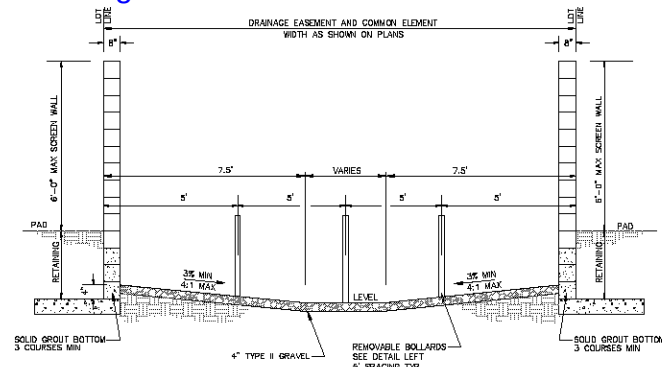


NOTE: FINAL PAVEMENT SECTIONS TO BE BASED ON ADDITIONAL R-VALUE TESTS PERFORMED DURING CONSTRUCTION OF THE ACTUAL SUBGRADE MATERIALS AND TRAFFIC INFORMATION.

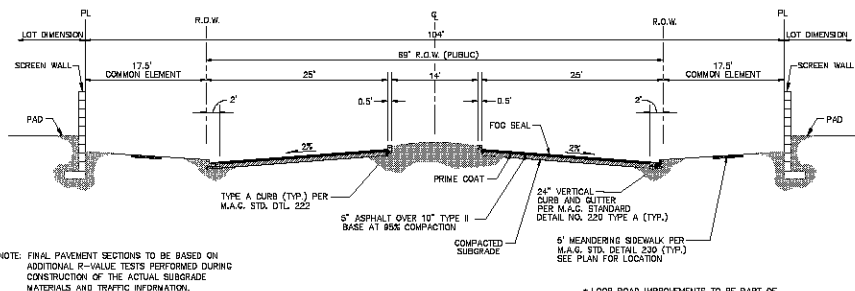
C TYPICAL COLLECTOR STREET SECTION
PRIVATE / PUBLIC UTILITY EASEMENT
N.T.S.



REMOVABLE BOLLARD DETAIL
N.T.S.

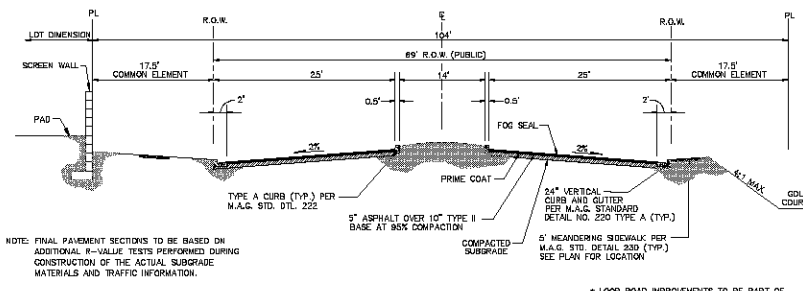


G DRAINAGE EASEMENT
TO BE PRIVATELY MAINTAINED
N.T.S.



NOTE: FINAL PAVEMENT SECTIONS TO BE BASED ON ADDITIONAL R-VALUE TESTS PERFORMED DURING CONSTRUCTION OF THE ACTUAL SUBGRADE MATERIALS AND TRAFFIC INFORMATION.

J FUTURE LOOP ROAD STREET SECTION *
PUBLIC
N.T.S.



NOTE: FINAL PAVEMENT SECTIONS TO BE BASED ON ADDITIONAL R-VALUE TESTS PERFORMED DURING CONSTRUCTION OF THE ACTUAL SUBGRADE MATERIALS AND TRAFFIC INFORMATION.

J-2 FUTURE LOOP ROAD STREET SECTION *
ADJACENT TO GOLF COURSE
PUBLIC
N.T.S.

* LOOP ROAD IMPROVEMENTS TO BE PART OF OFF-SITE ROADWAY IMPROVEMENT PACKAGE PREPARED BY STANLEY CONSULTANTS

BASIS OF BEARINGS

NORTH 07°33' EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 03, TOWNSHIP 20 NORTH, RANGE 18 WEST, GLA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NP), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "50 32" = LATITUDE 35°09'25.70034"N, LONGITUDE 114°05'21.57247"W (NAD '83), HEIGHT 2580.485818' (NAVD '86)

STONE 1/4 COR 3/2 = LATITUDE 35°08'55.53385"N, LONGITUDE 114°06'30.72281"W (NAD '83), HEIGHT 2498.204581' (NAVD '86)

BENCHMARK

BENCHMARK # "50 34" M.C.S.D.

ELEVATION= 2580.24273 FT (NAVD '86)

DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 18 W. AND THE INTERSECTION OF SHIMMUP DR. AND HOPE RD., STAMPED "50 34 1098 RLS 10343"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC
DATE: 12 SEPTEMBER 05
PROJECT NO.: 1009-020

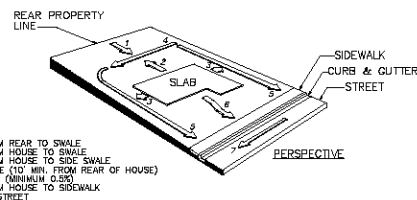
DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

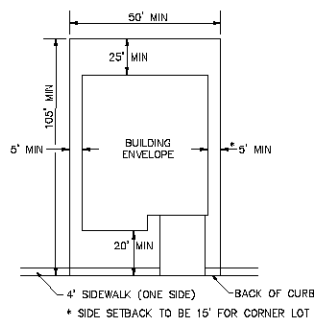
Call before you dig
1-800-787-3348
(toll-free)

Call before you overhead
1-928-753-5591
(toll-free)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



TYPICAL LOT GRADING
N.T.S.



TYPICAL SETBACKS FOR ALL LOTS
N.T.S.



DATE	3-10-06
CHECKED BY	SH/DB
DRAWN BY	CD/RM
SCALE (V) NOTE	SCALE (H) NOTE

SCALE (H) NOTE
SCALE (V) NOTE
DRAWN BY CD/RM
CHECKED BY SH/DB
DATE 3-10-06

3600 S. Estrella Avenue, Suite 100
Tempe, Arizona 85281-1172
Tel: 480-990-9793
Fax: 480-990-9794
www.stanleyconsultants.com



PHOENIX ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
DETAILS
ARIZONA
MOHAVE COUNTY

SHEET
DT1
3 OF 78 SHEETS
SCI PROJECT#
18478



N.C.S.D. "SD 32" = LATITUDE 35°09'22.70034"N,
LONGITUDE 114°08'21.57240"W (NAD '83)
HEIGHT 2562.48391ft. (NAVD'88)

STONE 1/4 COR 3/1 = LATITUDE 35°08'56.53385"N,
LONGITUDE 114°10'30.72281"W (NAD '83)
HEIGHT 2498.20458ft. (NAVD'88)

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 65 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R.18 W. AND THE INTERSECTION OF SHINARUMP DR. AND HOPE RD., STAMPED "SD 34 1995 RLS 10343."

ALL CONSTRUCTION SHALL CONFORM WITH THE
SOILS REPORT PREPARED BY: AMERICAN SOILS
ENGINEERING, LLC.
DATED: 12 SEPTEMBER 05
PROJECT No.: 1060-GED

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVER-HEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you Dig
1-800-782-5334
(1-800-254-0772)

Call before you Overhead
1-878-753-5559

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06


Stanley Com

PHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH

AREA 1 - PHASE A

ALTAIR COUNTY

SHEET
DT2
OF 79 SHEETS

SCI PROJECT#
18478



DATE	3-10-06
CHECKED BY	SH/DB
DRAWN BY	CD/RM
SCALE (V) NOTE	
SCALE (H) NOTE	

SCALE (H) NOTE
SCALE (V) NOTE
DRAWN BY CD/RM
CHECKED BY SH/DB
DATE 3-10-06

3600 S. Eastman Avenue, Suite 300
Tempe, Arizona 85281
www.stanleyconsultants.com

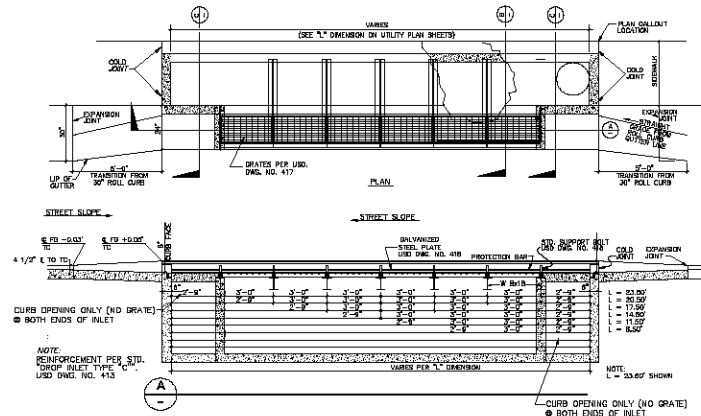


ARIZONA

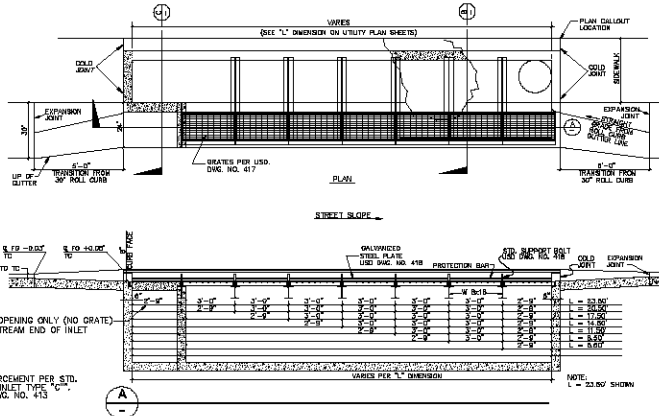
RHODES HONES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
DETAILS

MOHAVE COUNTY

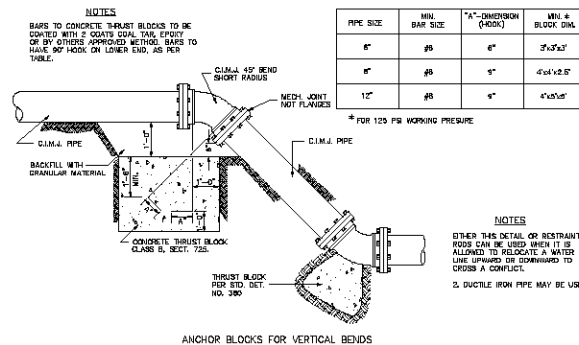
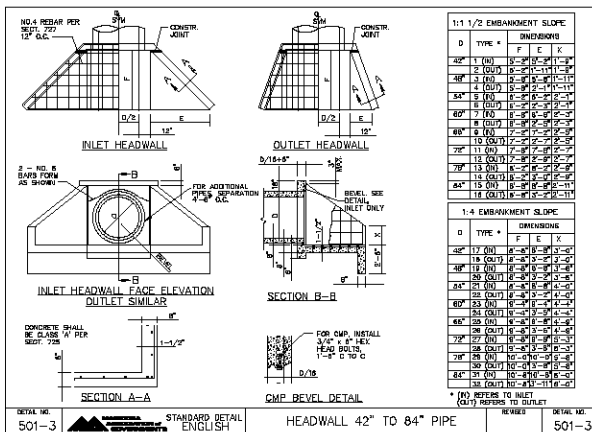
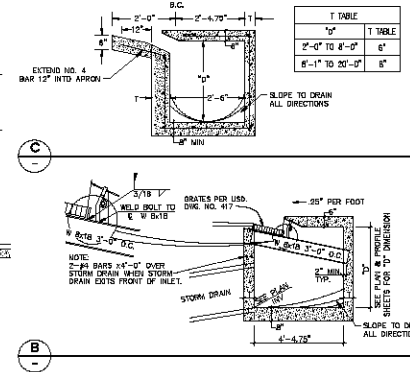
SHEET
DT3
5 OF 79 SHEETS
SCI PROJECT#
18478



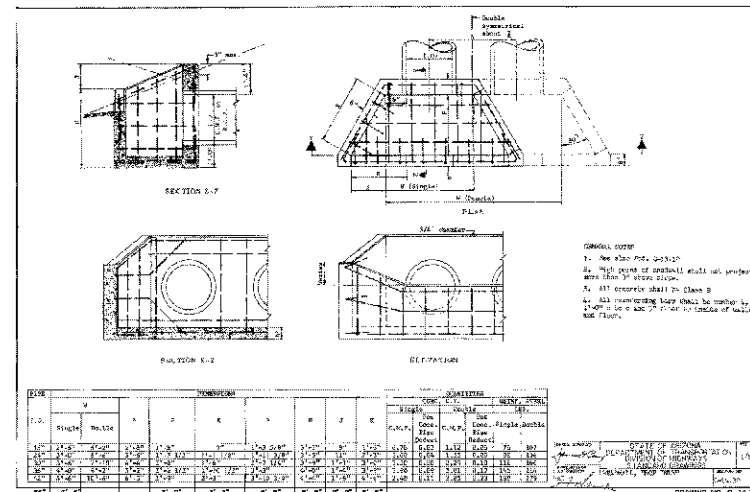
9a MODIFIED TYPE 'C' DROP INLET IN BUMP
N.T.S.



9b MODIFIED TYPE 'C' DROP INLET ON GRADE
N.T.S.



MAQ DETAIL NO. 381
N.T.S.



BASIS OF BEARINGS

NORTH 00°13'00\"/>

M.C.S.D. \"/>

BENCHMARK
DESCRIPTION: ALUM CAP 2\"/>

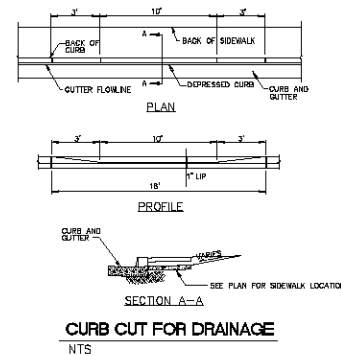
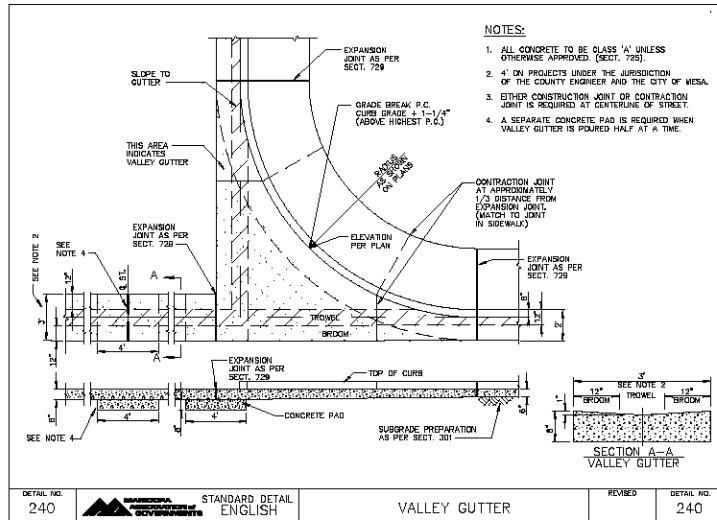
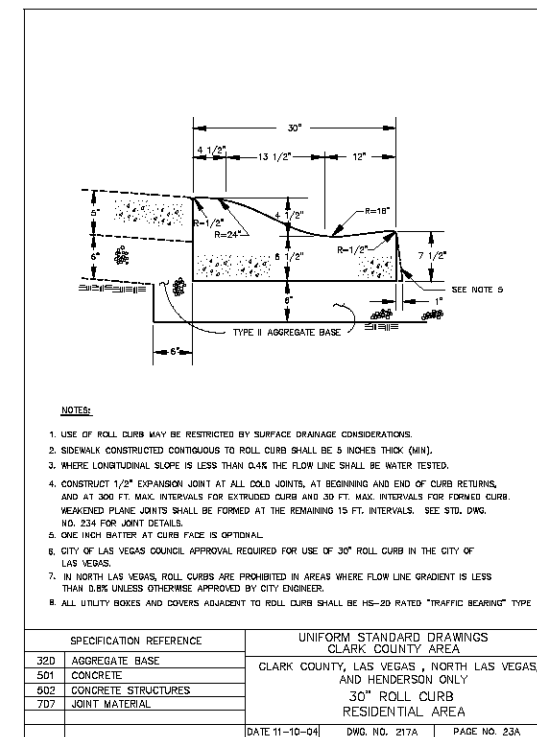
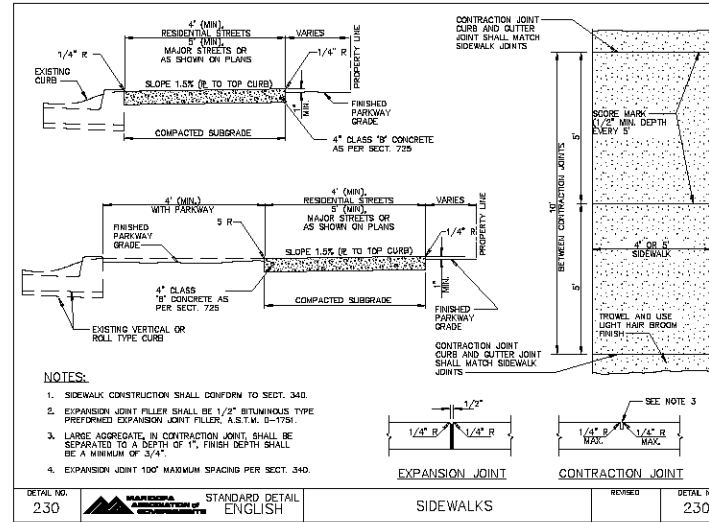
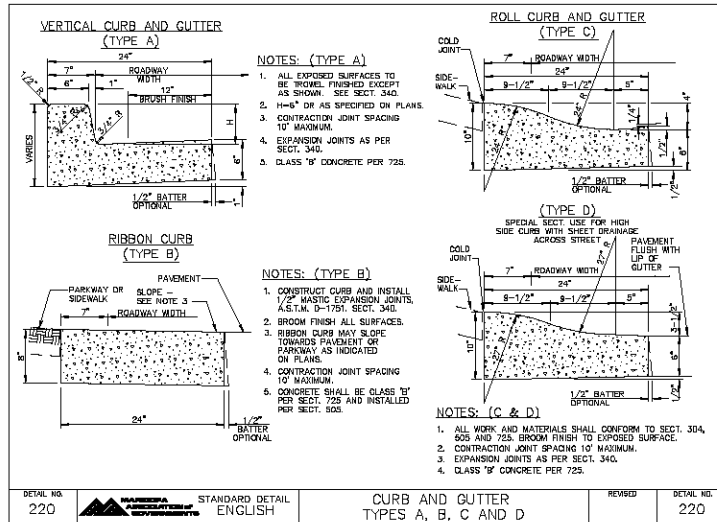
DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you Dig
1-800-762-9346
(toll-free)

Call before you Overhead
1-878-753-5581
(toll-free)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



TRANSITION FROM VERT. CURB / GUTTER (TYPE 'A') TO ROLL CURB AND GUTTER

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC. DATED: 12 SEPTEMBER 08 PROJECT NO.: 1080-GE0

BASIS OF BEARINGS

NORTH 00°13'38\" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 30 NORTH, RANGE 16 WEST, GLA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WP), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. \"SD 35\" = LATITUDE 35°09'22.70034\"N, LONGITUDE 114°09'21.57545\"W (NAD '83) HEIGHT 2580.461381' (NAVD'83)

STONE 1/4 COR 3/2 = LATITUDE 35°08'55.53385\"N, LONGITUDE 114°10'30.72201\"W (NAD '83) HEIGHT 2498.204581' (NAVD'83)

BENCHMARK

BENCHMARK # \"SD 34\" M.C.S.D. ELEVATION= 2590.24273 FT (NAVD '83)

DESCRIPTION: ALUM CAP 2\" DIA. SET IN CONC. 80 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 31 N., R. 16 W. AND THE INTERSECTION OF SHINARUMP DR. AND HOPE RD., STAMPED \"SD 34 1989 RLS 10343\"

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig

1-800-787-4348 (TOLL FREE)

Call before you overheat

1-828-753-5091 (TOLL FREE)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

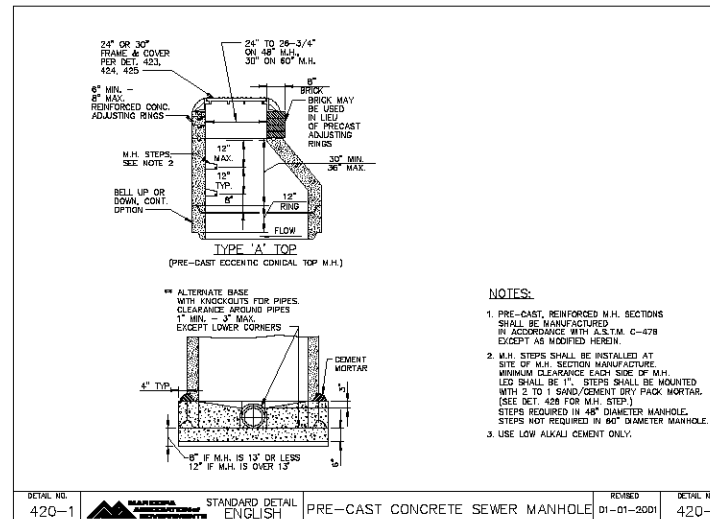
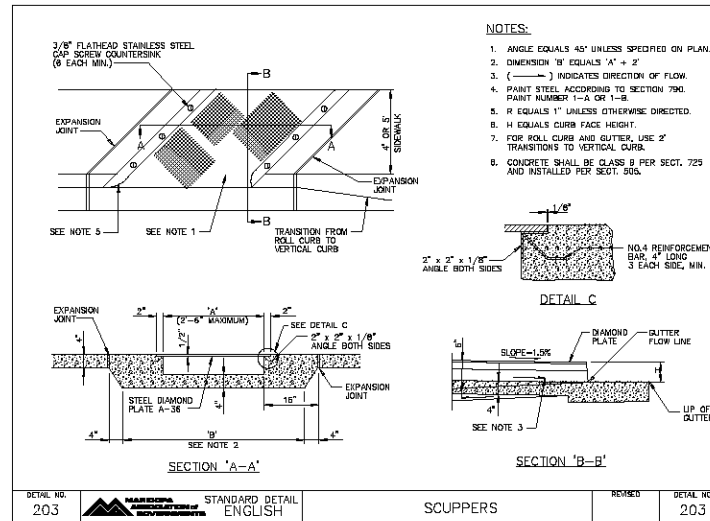
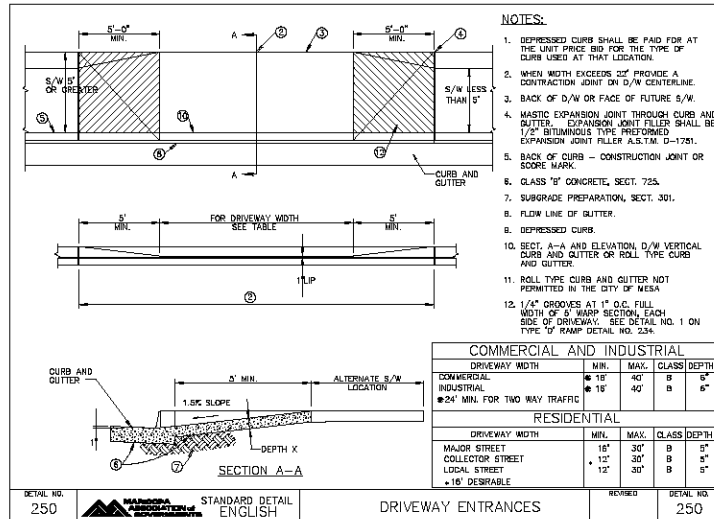
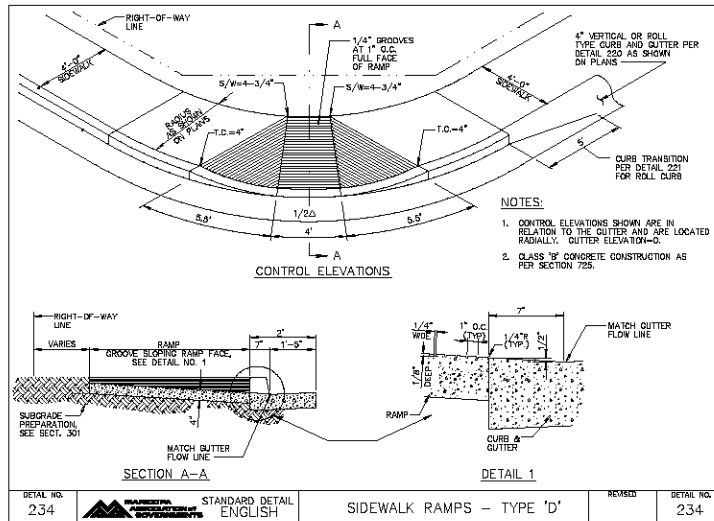
SCALE (H) NOTE	SCALE (V) NOTE	DRAWN BY CD/RM	CHECKED BY SH/DB	DATE 3-10-06
----------------	----------------	----------------	------------------	--------------

3600 S. Eudora Avenue, Suite 300
Las Vegas, Nevada 89119
www.stanleygroup.com



PHILIP HONES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
DETAILS
MOHAVE COUNTY
ARIZONA

SHEET
DT4
8 OF 79 SHEETS
SCI PROJECT#
18478



GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOIL REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC. DATED: 12 SEPTEMBER 09 PROJECT NO.: 1080-020

BABB OF BEARINGS

NORTH D01538° EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, GLA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILISING FAST STATIC OBSERVATIONS PROCESSED BY NGS-GRUS.

M.C.S.D. "SD 32" = LATITUDE 35°09'22.70034"N, LONGITUDE 114°08'21.57540"W (NAD 83) HEIGHT 2582.48391R (NAVD83)

STONE 1/4 COR 3/2 = LATITUDE 36°08'55.53385"N, LONGITUDE 114°07'00.72281"W (NAD 83) HEIGHT 2488.204581R (NAVD83)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D. ELEVATION = 2590.24273 FT (NAVD 83)

DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 60 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SECT. 35, T. 21 N., R. 18 W. AND THE INTERSECTION OF SHINAWASO DR. AND HOPE RD., STAMPED "SD 34 1999 RLS 10343."

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
1-800-782-3348
(Toll-free in AZ)

Call before you dig
1-877-733-5591
(Toll-free)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	
APPROVED	
DRAWN BY	
CHECKED BY	
DATE	

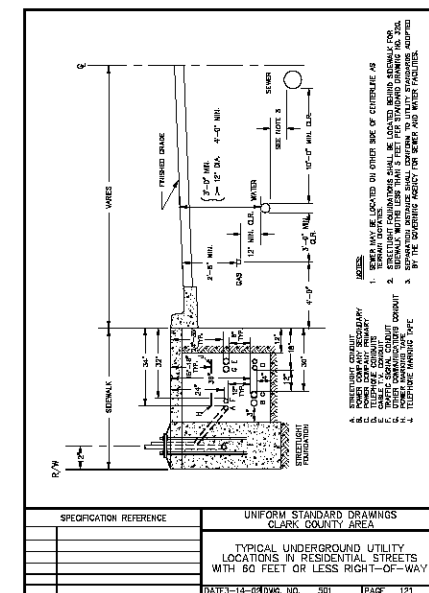
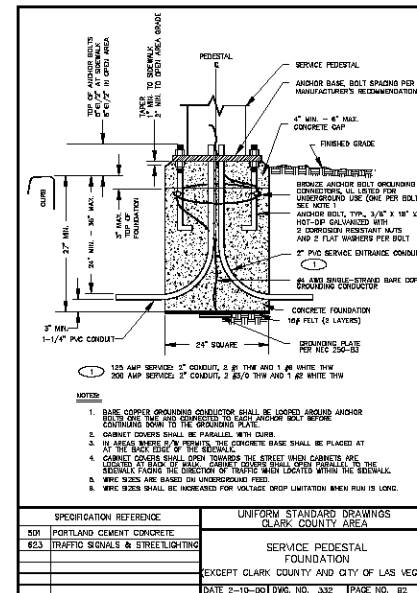
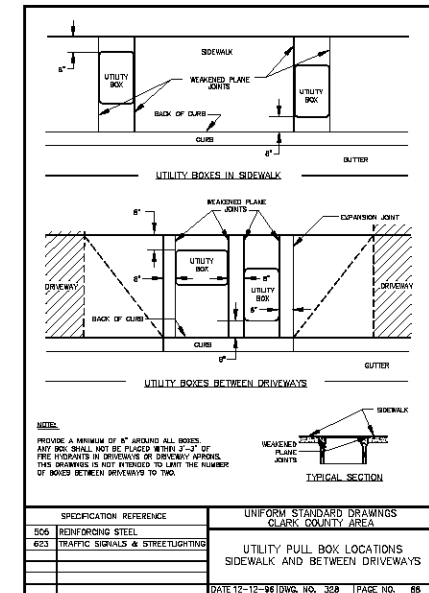
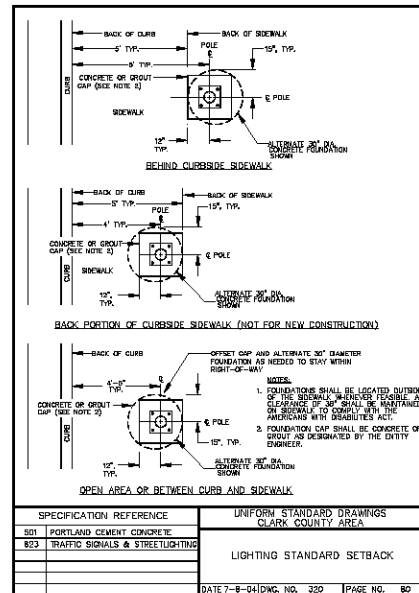
SCALE (H) NOTE
SCALE (V) NOTE
DRAWN BY CD/RM
DATE 3-10-06

3600 S. Eastman Avenue, Suite 300
Las Vegas, Nevada 89119
Tel: (702) 486-9793
www.stanleyconsultants.com

Stanley Consultants Inc.

PHOENIX ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
DETAILS

SHEET
DT5
7 OF 79 SHEETS
SCI PROJECT#
18478



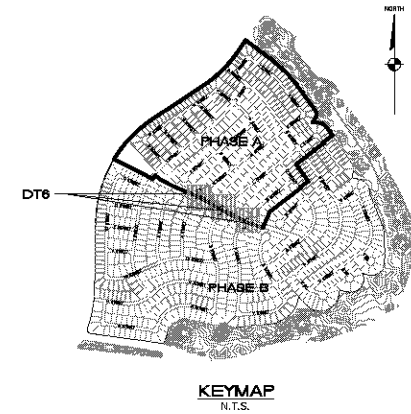
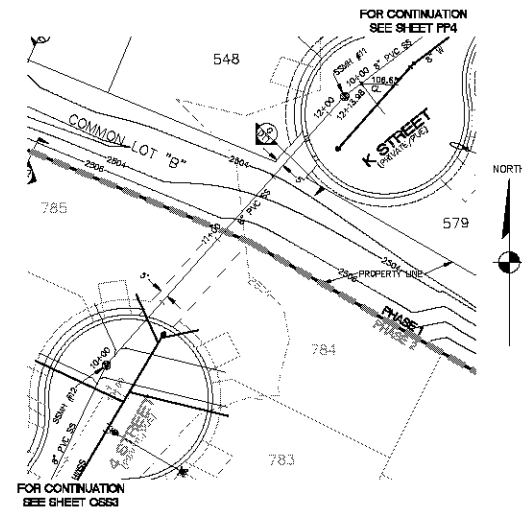
PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH

AREA 1 - PHASE A
DETAILS

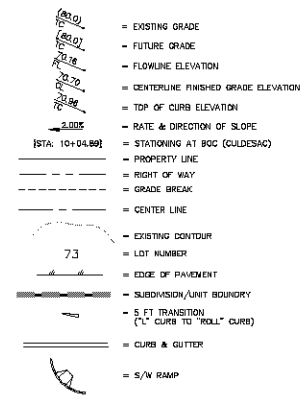
MOHAVE COUNTY

SHEET
DT6
 8 OF 79 SHEETS
 SCI PROJECT#
 18476



KEYMAP
N.T.S.

LEGEND



BASIS OF BEARINGS

NORTH 007.338" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, Q14 & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

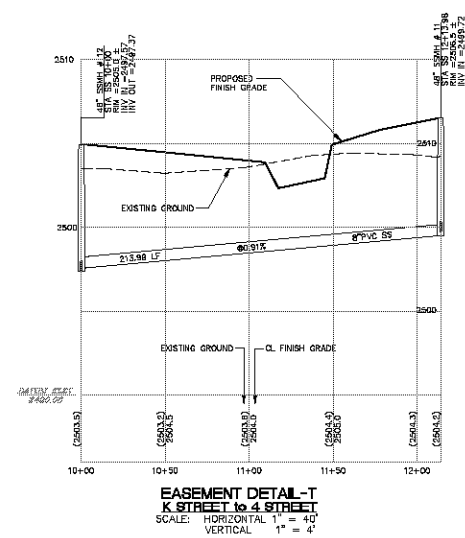
M.C.S.D. "SD 32" = LATITUDE 35°09'22.70034"N,
LONGITUDE 114°08'21.57240"W (NA
HEIGHT 2562.46391M (NAVD'88)

STONE 1/4 COR 3/2 = LATITUDE 35°08'56.53385"N,
LONGITUDE 114°01'30.72261"W (NAD '83)
HEIGHT 2498.20455m (NAVD'88)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D.
ELEVATION= 2590.24273 IFT (NAVD '88)

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 65 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R.15 W. AND THE INTERSECTION OF SHINARUMP DR. AND HOPE RD., STAMPED "SD 34 1999 RLS 10343."



GEOTECHNICAL NOTE:
ALL CONSTRUCTION SHALL CONFORM WITH THE
SOILS REPORT PREPARED BY: AMERICAN SOILS
ENGINEERING, LLC.
DATED: 12 SEPTEMBER 05
PROJECT No.: 1080-GEO

FEMA FLOOD ZONE

FEMA MAP: PANEL NO. 04005B 2325C
MAP UPDATE: OCT 20, 2000
PHASE A OF AREA 1 LIES WITHIN AN AREA
DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH
IS OUTSIDE THE AREA OF THE 100 YEAR STORM

DISCLAIMER NOTE

Should nothing underground
offly lines. It's costly.
Call before you Dig
BEST SERVICE
1-800-787-5342
(1-800-800-0112)

And overhead power
line control.
**Call
before you
Overhead**
1-928-753-559
DOOR

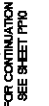
PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

 Stanley Consultants Inc.
5800 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 369-9388 Fax: (702) 369-9783
www.stanleycorp.com

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
EASEMENT PLAN AND PROFILES
MOHAVE COUNTY

SHEET
DT7
9 OF 79 SHEETS

SCI PROJECT#
18478



LEGEND

- ### BASIS OF BEARINGS

M.C.S.D. *SD 32" =

STDNE 1/4 CDR 3/

BENCHMARK

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 18 W. AND THE INTERSECTION OF SHINARUMP DR. AND HOPE RD., STAMPED "SD 34 1999 RLS 10343."



GEOTECHNICAL NOTE:

**ALL CONSTRUCTION SHALL CONFORM WITH THE
SOILS REPORT PREPARED BY: AMERICAN SOILS
ENGINEERING, LLC.
DATED: 12 SEPTEMBER 05
PROJECT No.: 1060-GE0**

FEMA FLOOD ZONE

FEMA MAP: PANEL NO. 04005B 2325C
MAP UPDATE: OCT 20, 2000

PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING

Avoid cutting underground
 utility lines. It's costly.
 Call before you dig.
 1-800-787-5348
 (1-800-800-1177)

And overhead power
 line control.
Call
before you
Overhead
1-928-753-5599
 DIRECT

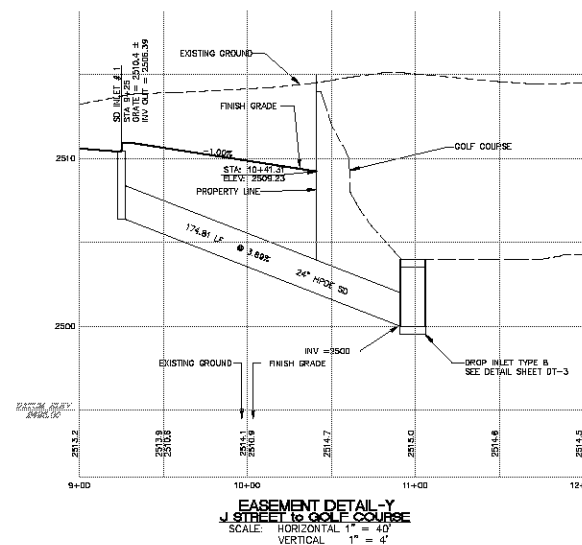
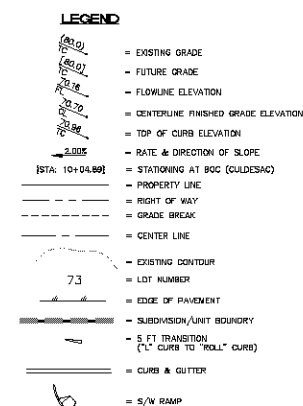
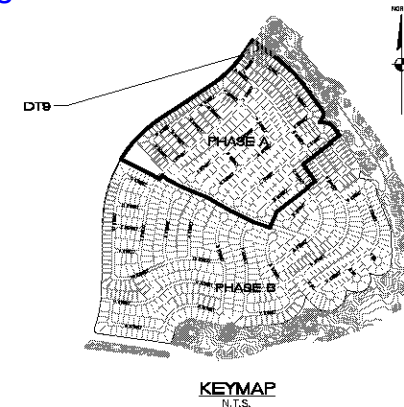
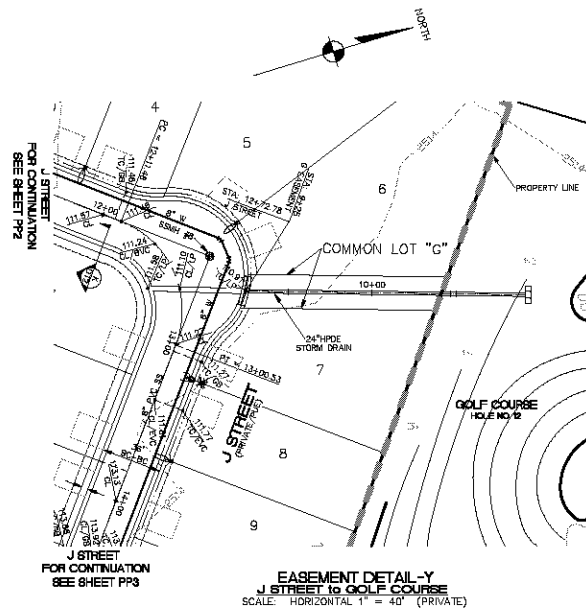
PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

 5820 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 369-4248 Fax (702) 369-9793
www.stanleycorp.com

Stanley Consultants INC.

**RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
EASEMENT PLAN AND PROFILES**

SHEET
DT8
10 OF 79 SHEETS
SCI PROJECT#
18476



BASIS OF BEARINGS

NORTH 00°13'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, GLA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NF3), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-DGPS.

N.C.S.D. "SD 32" = LATITUDE 35°09'22.70034"N, LONGITUDE 114°08'21.87240"W (NAD '83) HEIGHT 2962.463071 (NAVD 88)

STONE 1/4 COR 3/2 = LATITUDE 35°18'56.63385"N, LONGITUDE 114°10'30.72281"W (NAD '83) HEIGHT 2498.204589 (NAVD 88)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D. ELEVATION= 2560.24273 FT (NAVD '88)

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 65 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 18 W. AND THE INTERSECTION OF SHINARUMP DR. AND HOPE RD., STAMPED "SD 34 1999 RLS 10343."

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC DATED: 12 SEPTEMBER 05 PROJECT No. 1060-GE0

FEMA FLOOD ZONE

FEMA MAP: PANEL NO. 040058 2325C MAP UPDATE: OCT 20, 2000 PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
1-800-787-2348
1-800-486-0000

Call before you Overhead
1-928-753-5591

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



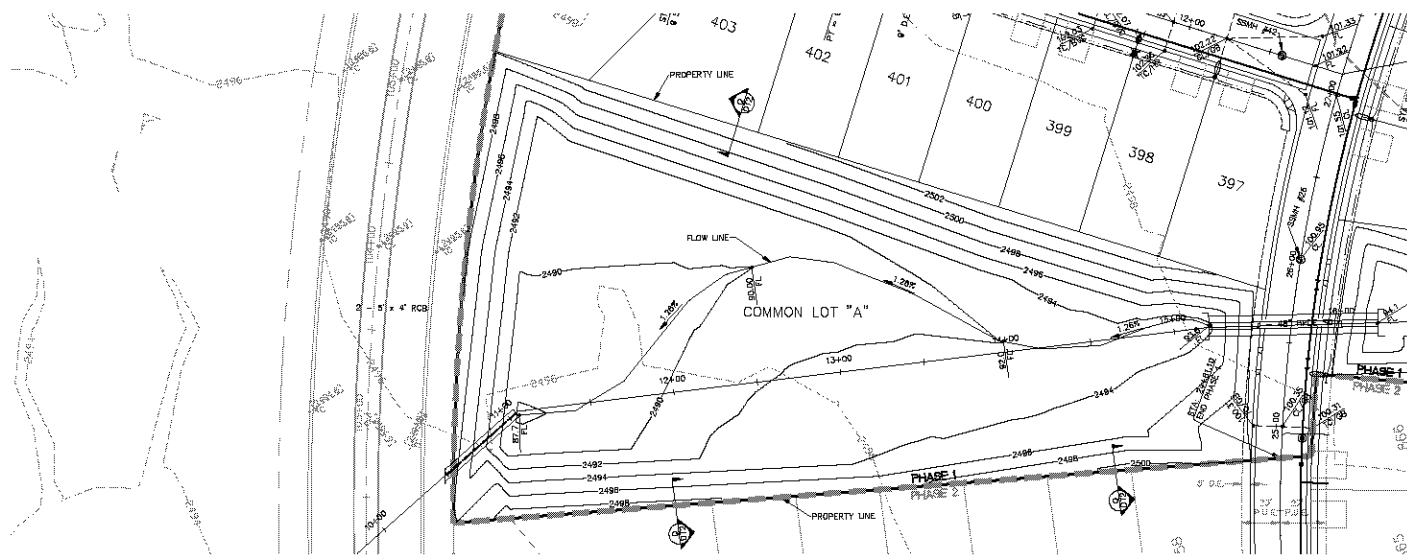
DATE	BY	REVISION

SCALE (H) 1" = 40'
SCALE (V) 1" = 4'
DRAWN BY CD/RM
CHECKED BY SH/DB
DATE 3-10-06

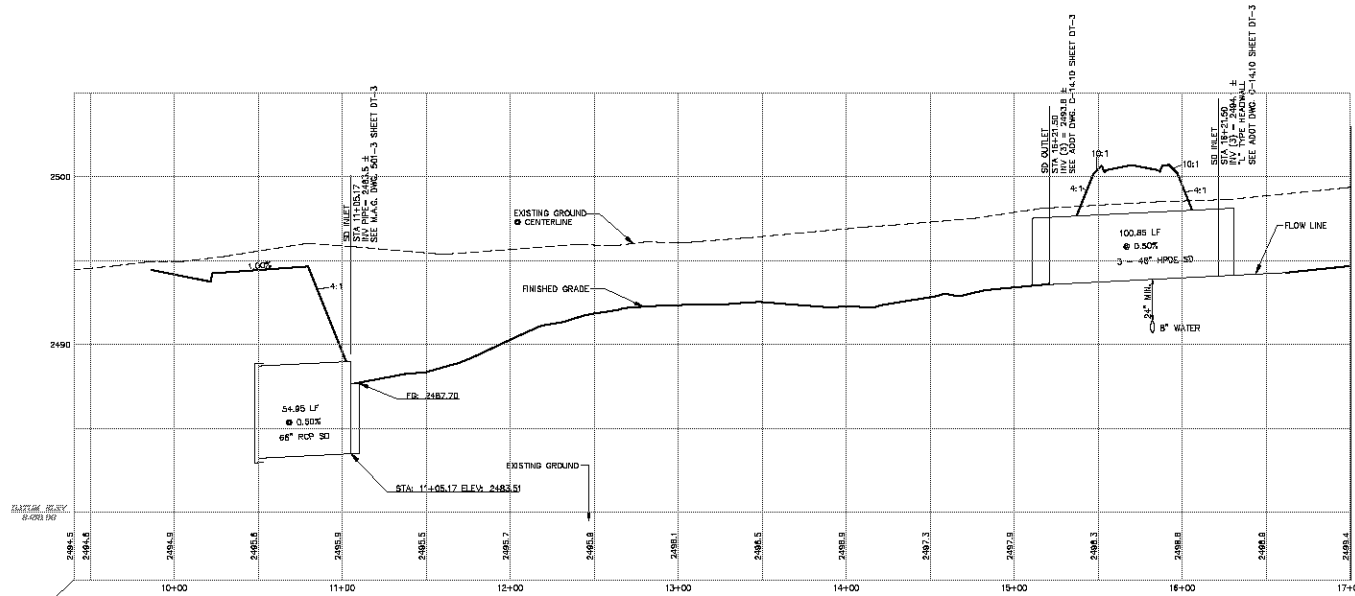
3600 S. Eastman Avenue, Suite 100
Tempe, Arizona 85281
www.stanleygroup.com
Stanley Consultants Inc.

PHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
EASEMENT PLAN AND PROFILES
MOHAVE COUNTY
ARIZONA

SHEET
DT9
11 OF 79 SHEETS
SCI PROJECT#
18478



EASEMENT DETAIL-Z
1 STREET TO WEST LOOP ROAD
SCALE: HORIZONTAL 1" = 40' (PRIVATE)

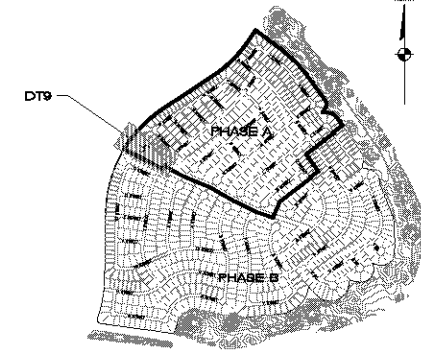


EASEMENT DETAIL-Z
1 STREET TO WEST LOOP ROAD
SCALE: HORIZONTAL 1" = 40'
VERTICAL 1" = 4'

GEOTECHNICAL NOTE:
ALL CONSTRUCTION SHALL CONFORM WITH THE
SOILS REPORT PREPARED BY: AMERICAN SOILS
ENGINEERING, LLC
DATED: 12 SEPTEMBER 05
PROJECT NO.: 1050-GE0

FEMA FLOOD ZONE

FEMA MAP: PANEL NO. 040058 2325C
MAP UPDATE: OCT 20, 2000
PHASE A OF AREA 1 LIES WITHIN AN AREA
DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH
IS OUTSIDE THE AREA OF THE 100 YEAR STORM.



KEYMAP
N.T.S.

LEGEND

- = EXISTING GRADE
- = FUTURE GRADE
- = FLOWLINE ELEVATION
- = CENTERLINE FINISHED GRADE ELEVATION
- = RATE & DIRECTION OF SLOPE
- = STATIONING AT BOC (GULDESAC)
- = PROPERTY LINE
- = RIGHT OF WAY
- = GRADE BREAK
- = CENTER LINE
- = EXISTING CONTOUR
- = LOT NUMBER
- = EDGE OF PAVEMENT
- = SUBDIVISION/UNIT BOUNDARY
- = 5 FT TRANSITION ("1/4" CURB TO "ROLL" CURB)
- = CURB & GUTTER
- = 5/8 RAMP

BASIS OF BEARINGS

NORTH 00°13'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER
(NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, BLA &
SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE
ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NF3), WEST ZONE,
INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS
PROCESSED BY NGS-DPLS.

N.C.S.D. "SD 32" =
LATITUDE 35°09'22.70034"N
LONGITUDE 114°08'21.87240"W (NAD '83)
HEIGHT 2962.463017L (NAVD '88)

STONE 1/4 COR 3/2 =
LATITUDE 35°08'56.63385"N
LONGITUDE 114°07'30.72281"W (NAD '83)
HEIGHT 2498.204581L (NAVD '88)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D.
ELEVATION= 2560.24273 FT (NAVD '88)

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 65 FT. NORTHEAST OF
THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 18 W. AND THE
INTERSECTION OF SHINARUP DR. AND HOPE RD., STAMPED "SD 34 1999
RLS 10343."

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN
HEREON ARE APPROXIMATE
ONLY. IT SHALL BE THE
CONTRACTOR'S RESPONSIBILITY
TO DETERMINE THE EXACT
HORIZONTAL AND VERTICAL
LOCATION OF ALL EXISTING
UNDERGROUND OR OVERHEAD
UTILITIES PRIOR TO
COMMENCING CONSTRUCTION.
NO REPRESENTATION IS MADE
THAT ALL EXISTING UTILITIES
ARE SHOWN HEREON. THE
ENGINEER ASSUMES NO
RESPONSIBILITY FOR UTILITIES
NOT SHOWN OR UTILITIES
NOT SHOWN IN THEIR PROPER
LOCATION.

Call
before
you
dig
1-800-785-2348
1-928-753-5591

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	REVISION

SCALE (H) 1" = 40'
SCALE (V) 1" = 4'
DRAWN BY CD/RM
CHECKED BY SH/DB
DATE 3-10-06

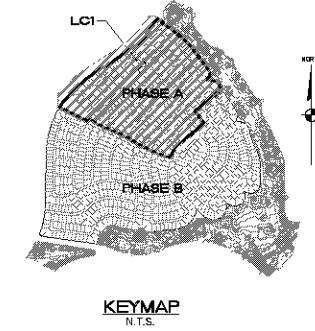
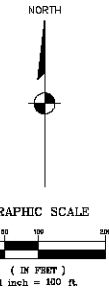
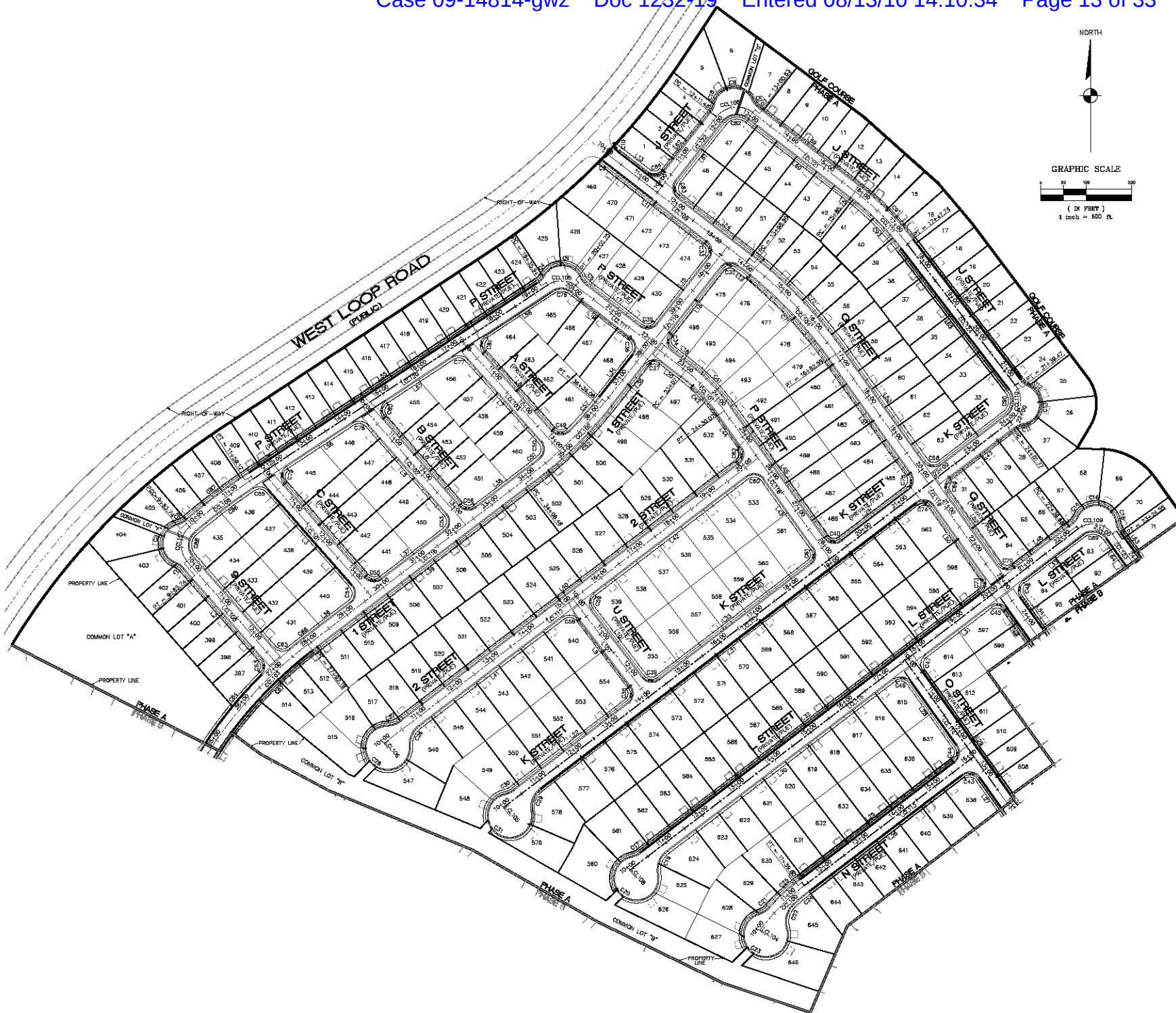
3600 S. Eastman Avenue, Suite 100
Tempe, Arizona 85281
Tel: 480-973-3400
Fax: 480-973-3401
www.stanleygroup.com



ARIZONA

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
EASEMENT PLAN AND PROFILES
MOHAVE COUNTY

SHEET
DT10
12 OF 79 SHEETS
SCI PROJECT#
18478



BASIS OF BEARINGS

NORTH 00°13'30" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, CL 4 & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATO OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "30 33" = LATITUDE 35°09'23.70034"N,
LONGITUDE 114°09'21.57240"W (NAD '83)
HEIGHT 2582.48391H (NAVD'83)

STONE 1/4 COR 3/2 = LATITUDE 35°09'08.53585"N,
LONGITUDE 114°10'30.72281"W (NAD '83)
HEIGHT 2488.20456H (NAVD'83)

BENCHMARK

BENCHMARK # "30 34" M.C.S.D.
ELEVATION= 2580.24273 FT (NAVD '83)

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 18 W. AND THE INTERSECTION OF SHIMARUP DR. AND HOME RD., STAMPED "30 34 1989 RLS 10343"

LEGEND

- 10' CORNER LOT SETBACK
- STREET CENTER LINE
- PROPERTY LINE
- AREA 2 BOUNDARY LINE
- RIGHT-OF-WAY LINE
- FUTURE LINE
- PHASE LINE
- LOT NUMBER
- SIDEWALK RAMP
- COMMON ELEMENT
- DRAINAGE EASEMENT
- L5, C4
- LINE AND CURVE BACK OF CURB DATA
- LINE AND CURVE CENTERLINE DATA

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
811
1-800-789-5346
(toll-free)

Call before you Overhead
1-876-753-5581
(toll-free)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

SCALE (H) 1" = 100'	SCALE (V) NONE	DRAWN BY CD/RM	CHECKED BY SH/DB	DATE 3-10-06
---------------------	----------------	----------------	------------------	--------------

3600 S. Estrella Avenue, Suite 300
Las Vegas, Nevada 89119
Tel: (702) 366-9793
www.stanleygroup.com



ARIZONA

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
LINE AND CURVE DATA 1

MOHAVE COUNTY

SHEET
L1
13 OF 79 SHEETS
SCI PROJECT#
18478

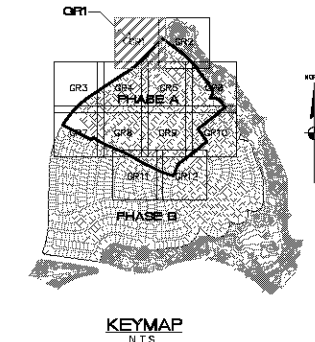
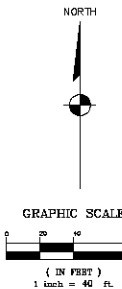
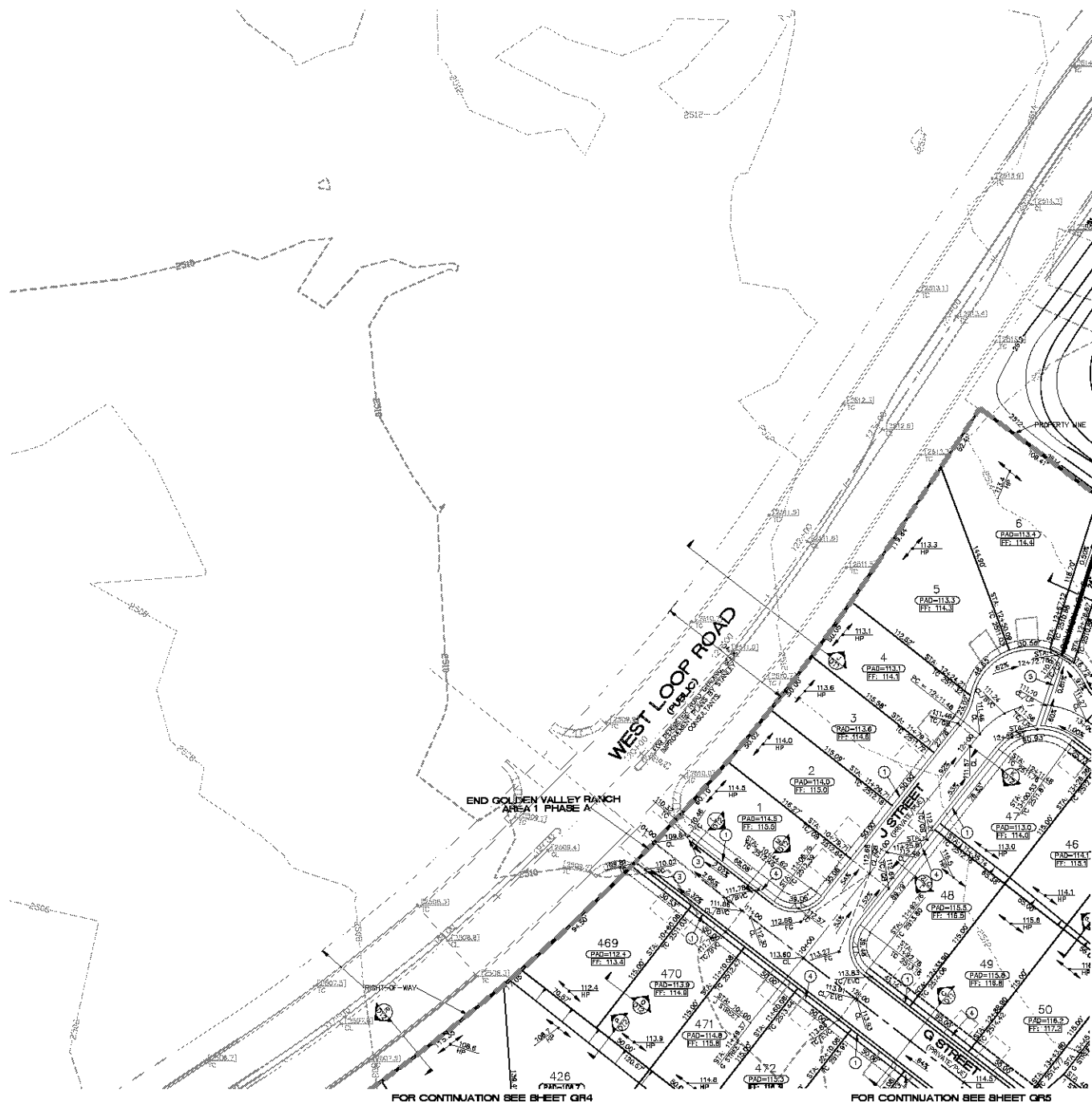
BACK OF CLUB LINE TABLE		
LINE	LENGTH	BEARING
L1	380.01	S81°13'37"E
L2	253.15	S41°13'37"E
L3	378.49	S41°13'37"E
L4	247.27	S41°13'37"E
L5	259.01	S41°13'37"E
L6	254.54	S41°13'37"E
L7	254.58	S41°13'37"E
L8	177.86	S41°13'37"E
L9	186.00	N17°16'47"E
L10	166.50	N27°16'47"E
L11	172.14	N37°16'47"E
L12	11.25	N51°13'38"E
L13	56.05	N52°13'38"E
L14	184.01	N53°13'38"E
L15	184.01	N53°13'38"E
L16	184.01	N53°13'38"E
L17	54.31	N53°13'38"E
L18	53.78	N51°13'38"E
L19	164.73	N52°13'38"E
L20	164.73	N52°13'38"E
L21	10.36	S52°13'38"E
L22	315.44	S52°13'38"E
L23	118.51	S52°13'38"E
L24	184.08	S52°13'38"E
L25	427.05	S52°13'38"E
L26	164.53	S53°32'22"E
L27	64.28	S33°32'22"E
L28	174.05	S33°32'22"E
L29	174.05	S33°32'22"E
L30	637.44	S52°13'38"E
L31	160.08	S52°13'38"E
L32	160.08	S52°13'38"E
L33	166.77	S52°13'38"E
L34	116.20	N48°13'24"E
L35	129.43	N52°13'38"E
L36	129.48	N52°13'38"E
L37	174.41	S52°13'55"E
L38	174.41	S52°13'55"E
L39	814.29	S52°13'55"E
L40	634.58	S52°13'55"E
L41	634.58	S52°13'55"E
L42	420.15	S52°13'55"E
L43	180.08	S33°32'22"E
L44	355.09	S33°32'22"E
L45	355.09	S33°32'22"E
L46	180.19	S52°13'55"E
L47	173.53	S52°13'55"E
L48	67.57	S46°17'46"E
L49	89.72	S33°32'22"E
L50	192.08	S33°32'22"E
L51	192.08	S33°32'22"E
L52	355.22	S33°32'22"E
L53	355.22	S33°32'22"E
L54	73.59	S52°13'55"E
L55	735.19	S52°13'55"E
L56	173.58	S46°17'46"E
L57	173.58	S46°17'46"E
L58	281.23	N51°13'38"E
L59	281.23	N51°13'38"E
L61	186.12	N38°13'24"E
L62	162.86	N38°13'24"E
L63	162.86	N38°13'24"E
L64	39.73	S33°32'22"E
L65	77.37	S27°26'22"E

LINE	LENGTH	BEARING
LC100	31.33	S41°12'04"E
LC101	362.07	S41°14'26"E
LC102	344.03	S41°14'39"E
LC103	322.34	S41°14'39"E
LC104	16.18	N35°17'04"E
LC105	23.00	N37°10'04"E
LC106	13.00	N37°10'04"E
LC107	272.00	N37°10'04"E
LC108	23.00	N37°10'04"E
LC109	398.80	N52°13'38"E
LC110	433.59	N38°15'34"E
LC111	305.25	N52°13'38"E
LC112	1401.77	S62°01'56"E
LC113	158.76	S62°01'56"E
LC114	380.12	S35°10'27"E
LC115	1236.88	S62°01'56"E
LC116	814.26	S62°01'56"E
LC117	1034.63	S62°01'56"E
LC118	399.82	S35°10'27"E
LC119	762.85	S35°10'27"E
LC120	778.82	S53°37'48"E
LC121	285.22	N52°13'38"E
LC122	211.48	N38°15'34"E
LC123	77.37	S35°32'22"E
LC124	391.72	S35°32'22"E

Avoid overhead power line contact.
Call before you Overhead
1-878-753-5591
UNISAT

<p> RIH MOHAVE COUNTY </p>	
---	--

14 OF 79 SHEETS
SCI PROJECT#
12472



CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SCUPPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT4)
- 8 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B)
- 9 TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NAD), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°09'24.57240"W (NAD '83) HEIGHT 2582.40311H (NAVD'86)
 STONE 1/4 COR 3/2 - LATITUDE 39°08'55.53395"N, LONGITUDE 114°10'30.72281"W (NAD '83) HEIGHT 2498.20468H (NAVD'86)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D. ELEVATION= 2580.24273 FT (NAVD '86)
 DESCRIPTION: ALUM CAP 2" DIA, SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHUARUMP DR. AND HOPE RD., STAMPED "SD 34 1986 RLS 10043"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC DATED: 15 SEPTEMBER 06 PROJECT NO.: 1000-020

FEMA FLOOD ZONE

FEMA MAP PANEL NO. 040509 2329C MAP UPDATE: OCT. 03 2000
 PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE:

ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FODDING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- PERIMETER BLOCK WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5 FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
 1-800-787-3448
 1-800-002-0
 Call before you dig
 1-878-753-5591

PRELIMINARY ISSUE FOR REVIEW
 NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

SCALE (H) 1" = 40'
 SCALE (V) 1" = 10'
 DRAWN BY CD/RM
 CHECKED BY SH/DB
 DATE 3-10-06

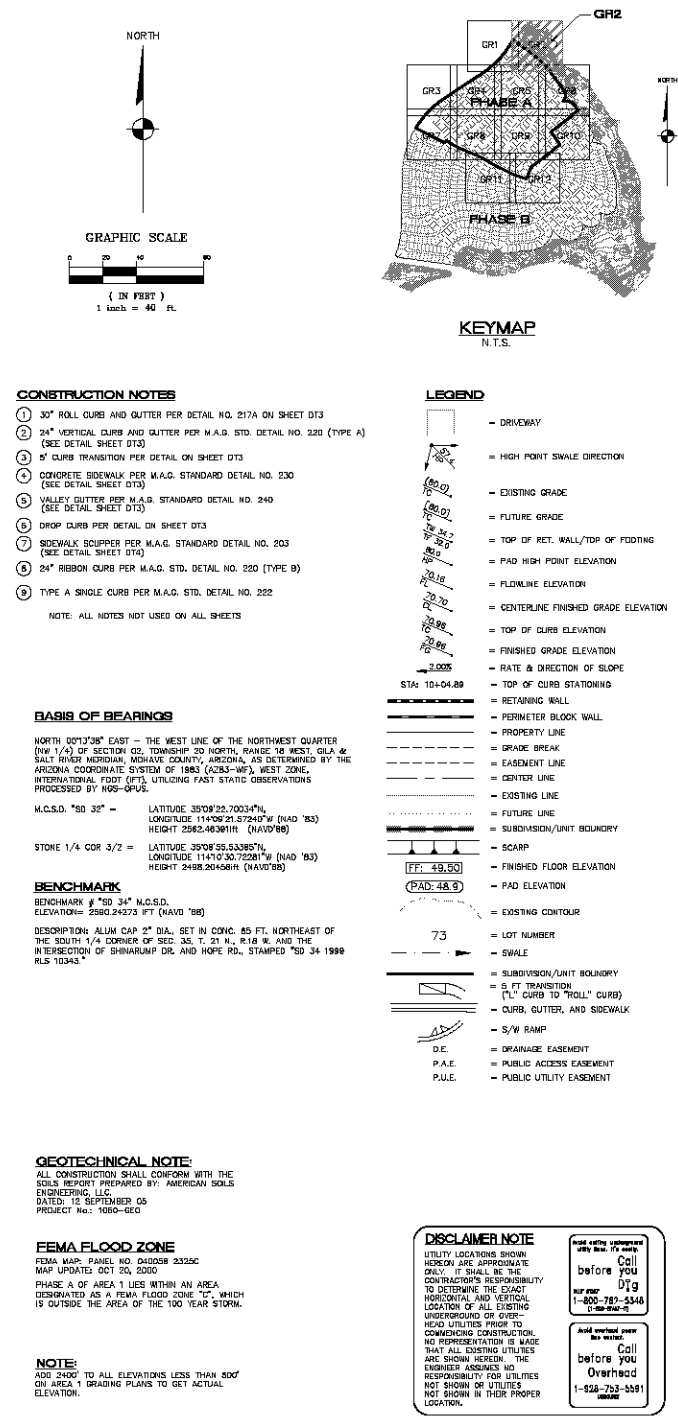
3600 S. Estrella Avenue, Suite 100
 Las Vegas, Nevada 89119
 Tel: (702) 365-9793
 Fax: (702) 365-9793
 www.stanleyconsultants.com

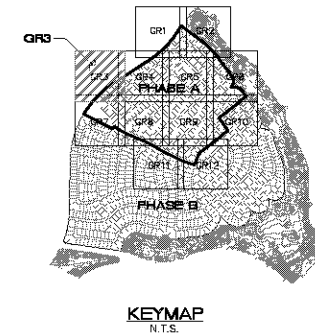
Stanley Consultants Inc.

PHODES HONES ARIZONA, LLC
 GOLDEN VALLEY RANCH
 AREA 1 - PHASE A
 GRADING PLAN 1

ARIZONA
 MOHAVE COUNTY

SHEET
GR1
 15 OF 79 SHEETS
 SCI PROJECT#
 18478



**CONSTRUCTION NOTES**

- ① 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- ② 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- ③ 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- ④ CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- ⑤ VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- ⑥ DROP CURB PER DETAIL ON SHEET DT3
- ⑦ SIDEWALK SCULPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT4)
- ⑧ 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B)
- ⑨ TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, GILA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°06'21.57240"W (NAD '83) HEIGHT 2582.46311H (NAVD'83)

STONE 1/4 COR 3/2 = LATITUDE 39°08'59.53395"N, LONGITUDE 114°10'30.72281"W (NAD '83) HEIGHT 2498.20468H (NAVD'83)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D., ELEVATION: 2580.24273 FT (NAVD '83)

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHIMRUMP DR. AND HOPE RD., STAMPED "SD 34 1998 RLS 10343"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC DATED: 12 SEPTEMBER 06 PROJECT NO.: 1000-020

FEMA FLOOD ZONE

FEMA MAP PANEL NO. D48028 2329C MAP UPDATED: OCT 20, 2000

PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE:

ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FODDING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- TOP OF CURB STATIONING
- PERIMETER BLOCK WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5' FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E.
- P.A.E.
- P.U.E.

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
1-800-787-5348
1-800-787-5348

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

SCALE (H) 1" = 40'	CHECKED BY SH/DB
SCALE (V) 1" = 10'	DATE 3-10-06
DRAWN BY CD/RM	

3600 S. Estrella Avenue, Suite 100
Las Vegas, Nevada 89119
Tel: (702) 360-9793
www.stanleyconsultants.com

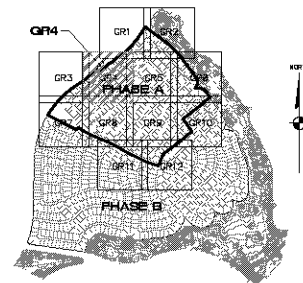
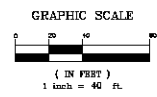
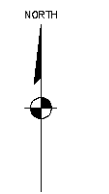
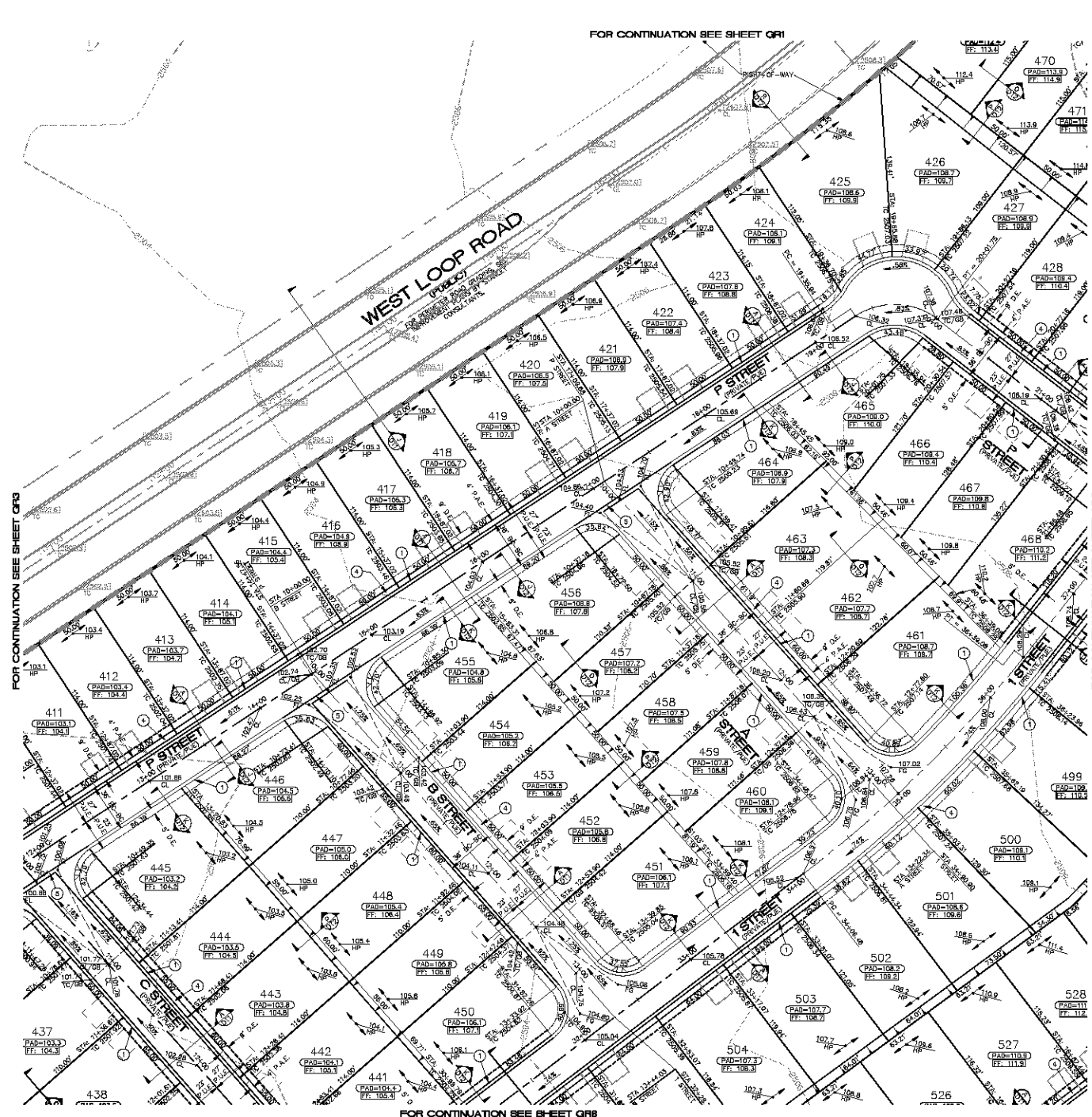


ARIZONA

RHODES HONES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
GRADING PLAN 3

MOHAVE COUNTY

SHEET
QF3
17 OF 79 SHEETS
SCI PROJECT#
18478



KEYMAP
N.T.S.

CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SCULPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT3)
- 8 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B)
- 9 TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NW), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

N.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°09'24.57240"W (NAD 83) HEIGHT 2582.463111' (NAVD83)

STONE 1/4 COR 3/2 - LATITUDE 35°08'59.53395"N, LONGITUDE 114°10'30.72281"W (NAD 83) HEIGHT 2498.204681' (NAVD83)

BENCHMARK

BENCHMARK # "SD 34" N.C.S.D. ELEVATION: 2580.4273 FT (NAD 83)
DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHUWAMP DR. AND HOPE RD., STAMPED "SD 34 1998 RLS 10343"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC
DATED: 12 SEPTEMBER 05
PROJECT NO.: 1050-020

FEMA FLOOD ZONE

FEMA MAP PANEL NO. 040509 2329C
MAP UPDATED: OCT 20 2000
PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE:
ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SNALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FLOODING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- PERIMETER BLOCK WALL
- RETAINING WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5' FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

field utility underground
8" or less, 1" or less
Call before you dig
our toll free number
1-800-785-5348
or our website
www.dignotcall.com

field overhead power
lines
Call before you dig
our toll free number
1-800-785-5348
or our website
www.dignotcall.com

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

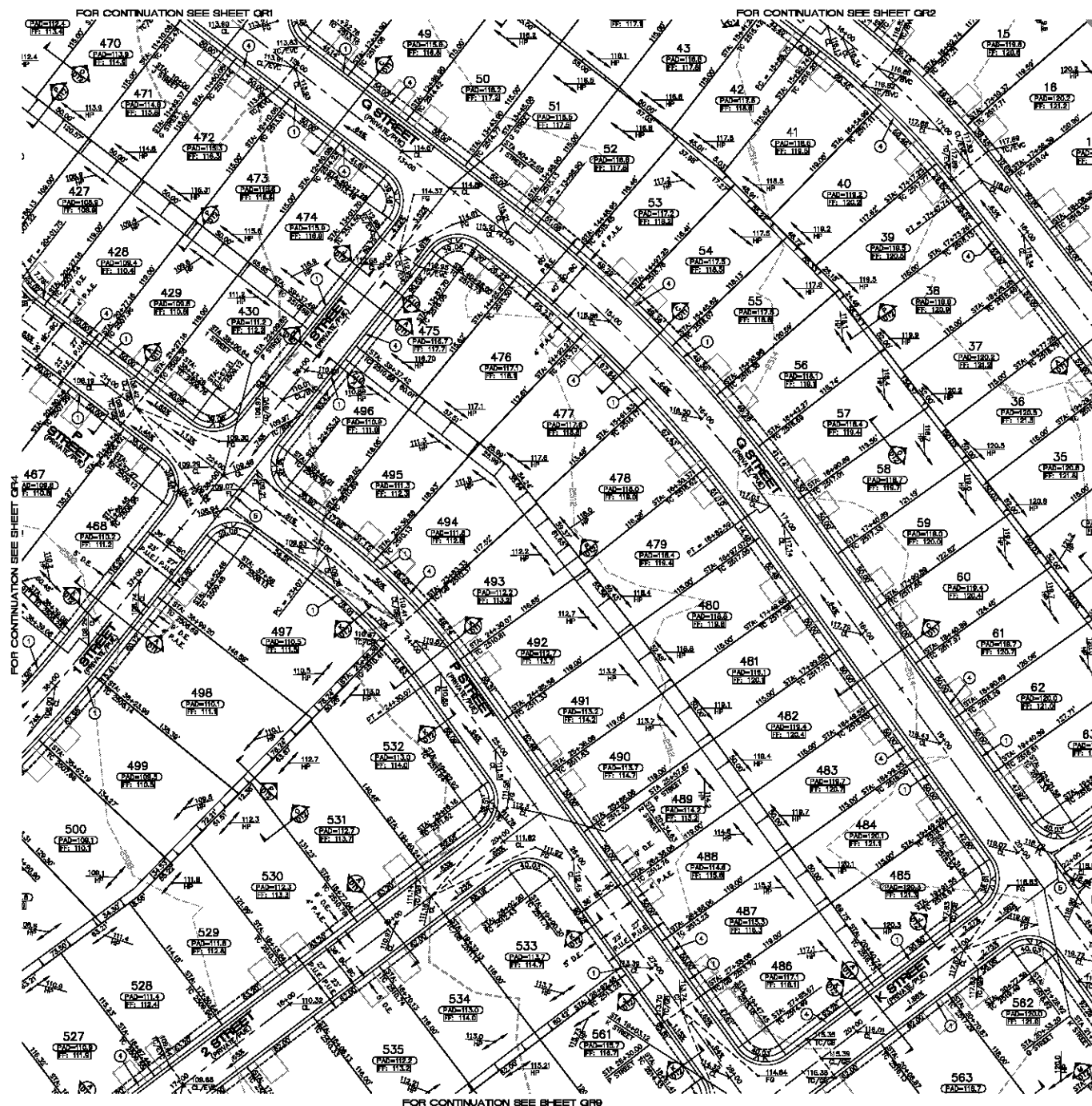
Stanley Consultants Inc.

3600 S. Estrella Avenue, Suite 300
Las Vegas, Nevada 89119
Tel: (702) 486-9793
www.stanleygroup.com

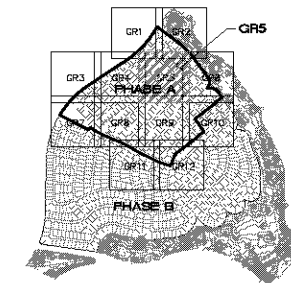
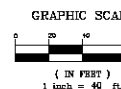
PHOENIX ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
GRADING PLAN 4

ARIZONA
MOHAVE COUNTY

SHEET
GR4
18 OF 79 SHEETS
SCI PROJECT#
18478



NORTH



KEYMAP
N.T.S.

CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SCULPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT4)
- 8 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B)
- 9 TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NAD), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY HDS-09US.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°09'24.57240"W (NAD '83) HEIGHT 2582.403911' (NAVD'83)

STONE 1/4 COR 3/2 - LATITUDE 35°08'55.53395"N, LONGITUDE 114°10'30.72281"W (NAD '83) HEIGHT 2498.20468'H (NAVD'83)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D. ELEVATION: 2580.24273 FT (NAVD '83)
DESCRIPTION: ALUM CAP 2" GAL. SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHUARUMP DR. AND HOPE RD., STAMPED "SD 34 1986 RLS 10343"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC
DATED: 15 SEPTEMBER 05
PROJECT NO.: 1050-020

FEMA FLOOD ZONE

FEMA MAP PANEL NO. 040509 2329C
MAP UPDATED: OCT 20 2000
PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE:

ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FLOODING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- TOP OF CURB STATIONING
- RETAINING WALL
- PERIMETER BLOCK WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5 FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
800-487-0000
1-800-787-5348
1-800-487-0000

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

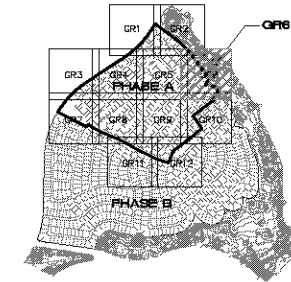
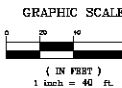
Stanley Consultants Inc.

PHOENIX HONES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
GRADING PLAN 5

ARIZONA
MOHAVE COUNTY

SHEET
GR5
19 OF 79 SHEETS
SCI PROJECT#
18478

DATE: 3-10-06
CHECKED BY: SH/DB
DRAWN BY: CD/RM
SCALE (V) 1" = 40'
SCALE (H) 1" = 40'



KEYMAP
N.T.S.

CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5' CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SKUPPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT4)
- 8 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B)
- 9 TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°30'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, GILA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WP), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY HCS-ORUS.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°09'24.57240"W (NAD '83) HEIGHT 2582.4037M (NAVD'83)
 STONE 1/4 COR 3/2 - LATITUDE 35°08'55.53385"N, LONGITUDE 114°09'30.72281"W (NAD '83) HEIGHT 2498.20458M (NAVD'83)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D. ELEVATION: 2580.24273 FT (NAVD '83)
 DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHUARUMP DR. AND HOPE RD., STAMPED "SD 34 1988 RLS 10343"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC
 DATED: 15 SEPTEMBER 06
 PROJECT NO.: 1050-020

FEMA FLOOD ZONE

FEMA MAP: FIRM NO. 04058 3329C
 MAP UPDATED: OCT 20, 2000
 PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE:
 ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FOOTING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- TOP OF CURB STATIONING
- RETAINING WALL
- PERIMETER BLOCK WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5 FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you Dig
 1-800-785-3346
 1-800-455-1122

Call before you Overhead
 1-828-753-0091

PRELIMINARY ISSUE FOR REVIEW
 NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

SCALE (H) 1" = 40'
 SCALE (V) 1" = 10'
 DRAWN BY: CD/RM
 CHECKED BY: SH/DB
 DATE: 3-10-06

3600 S. Estrella Avenue, Suite 100
 Las Vegas, Nevada 89119
 Tel: 702.735.9933
 Fax: 702.735.9934
 www.stanleygroup.com

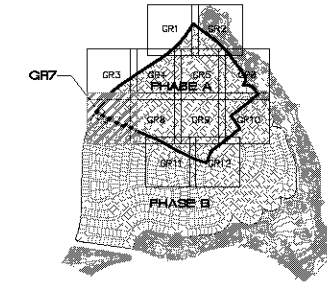
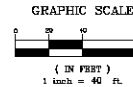


ARIZONA

RHODES HOMES ARIZONA, LLC
 GOLDEN VALLEY RANCH
 AREA 1 - PHASE A
 GRADING PLAN 6

MOHAVE COUNTY

SHEET
GR6
 20 OF 79 SHEETS
 SCI PROJECT#
 18478



KEYMAP
N.T.S.

CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SLOPPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT4)
- 8 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B)
- 9 TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZN83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N,
LONGITUDE 114°06'24.57240"W (NAD '83)
HEIGHT 2582.463911R (NAVD'83)
STONE 1/4 COR 3/2 - LATITUDE 35°08'55.53395"N,
LONGITUDE 114°07'30.72281"W (NAD '83)
HEIGHT 2498.264681R (NAVD'83)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D.,
ELEVATION: 2580.24273 FT (NAVD '83)
DESCRIPTION: ALUM CAP 2" DIA, SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHIMARUP DR. AND HOPE RD., STAMPED "SD 34 1998 RLS 10043"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC
DATED: 12 SEPTEMBER 05
PROJECT No.: 1000-020

FEMA FLOOD ZONE

FEMA MAP PANEL NO. D48058 3329C
MAP UPDATE: OCT 20, 2000
PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE:

ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FODDING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- TOP OF CURB STATIONING
- RETAINING WALL
- PERIMETER BLOCK WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5 FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you Dig
1-800-785-5348
(toll-free)

Call before you Overhead
1-928-753-5591
(toll-free)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

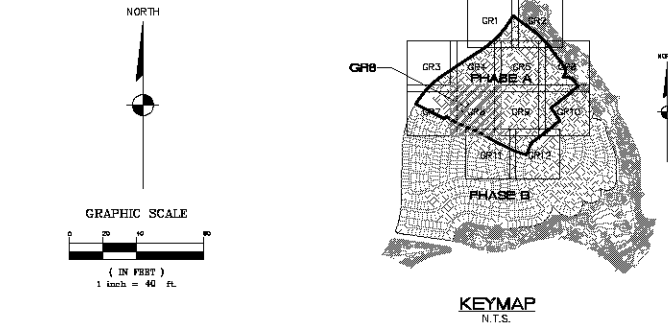
SCALE (H) 1" = 40'
SCALE (V) 1" = 10'
DRAWN BY: CD/RM
CHECKED BY: SH/DB
DATE: 3-10-06

3600 S. Estrella Avenue, Suite 300
Las Vegas, Nevada 89119
Tel: (702) 365-9793
www.stanleygroup.com



































Stanley Consultants Inc.

PHOENIX ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
GRADING PLAN 7

SHEET
GR7
21 OF 79 SHEETS
SCI PROJECT#
18478



LEGEND

-  = DRIVEWAY
-  = HIGH POINT SWALE DIRECTION
-  = EXISTING GRADE
-  = FUTURE GRADE
-  = TOP OF RET. WALL/TOP OF FOOTING
-  = PAD HIGH POINT ELEVATION
-  = FLOWLINE ELEVATION
-  = CENTERLINE FINISHED GRADE ELEVATION
-  = TOP OF CURB ELEVATION
-  = FINISHED GRADE ELEVATION
-  = RATE & DIRECTION OF SLOPE
-  = TOP OF CURB STATIONING
-  = RETAINING WALL
-  = PERIMETER BLOCK WALL
-  = PROPERTY LINE
-  = GRADE BREAK
-  = EASEMENT LINE
-  = CENTER LINE
-  = EXISTING LINE
-  = FUTURE LINE
-  = SUBDIVISION/UNIT BOUNDARY
-  = SCARP
-  = FINISHED FLOOR ELEVATION
-  = PAD ELEVATION
-  = EXISTING CONTOUR
-  = LOT NUMBER
-  = SWALE
-  = SUBDIVISION/UNIT BOUNDARY
-  = S/T TRANSITION
(L/R CURB TO "H" CURB)
-  = CURB, GUTTER, AND SIDEWALK
-  = S/W RAMP
-  = DRAINAGE EASEMENT
-  = PUBLIC ACCESS EASEMENT
-  = PUBLIC UTILITY EASEMENT

NORTH 00°13'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, GILA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FDOT (IFT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. *SD 32 - LATITUDE 35°09'22.70034"N,
LONGITUDE 114°09'21.57249"W (NAD '83)
HEIGHT 2582.463611H (NAVD'88)

STONE 1/4 COR 3/2 = LATITUDE 35°08'55.53385"N,
LONGITUDE 114°10'30.72281"W (NAD '83)
HEIGHT 2458.204561H (NAVD'88)

BENCHMARK # "SD 34" M.C.S.D.
 ELEVATION= 2580.24273 IFT (NAVD '88)
 DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 85 FT. NORTHEAST OF
 THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 18 W. AND THE
 INTERSECTION OF SHINARUMP DR. AND HOPE RD., STAMPED "SD 34 1990
 RLS 10343"

ALL CONSTRUCTION SHALL CONFORM WITH THE
SOILS REPORT PREPARED BY: AMERICAN SOILS
ENGINEERING, LLC.
DATED: 12 SEPTEMBER 05
PROJECT No.: 1050-GFC

FEWA MAP: PANEL NO. 04005B 2325C
MAP UPDATE: OCT 20, 2000
PHASE A OF AREA 1 LIES WITHIN AN AREA
DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH
IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE:
ADD 2400' TO ALL ELEVATIONS LESS THAN 500'
ON AREA 1 GRADING PLANS TO GET ACTUAL
ELEVATION.

Avoid hitting underground
 utility lines. It's costly.
 before you Dig
 CALL 800-872-5348
 (1-800-872-5348)

avoid overhead power line contact.
Call before you Overhead
1-878-753-5591
UNIVERSITY

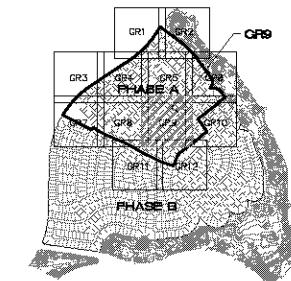
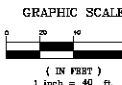
PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

 5800 S. Eastern Avenue, Suite 200
Denver, CO 80239
(727) 369-4308 Fax (727) 369-9783
www.stanleygroup.com

Stanley Consultants INC.

PHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH

SHEET
GR8
22 OF 79 SHEETS
SCI PROJECT#
18476



KEYMAP
N.T.S.

CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER M.A.S. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.S. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.S. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SCULPER PER M.A.S. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT4)
- 8 24" RIBBON CURB PER M.A.S. STD. DETAIL NO. 220 (TYPE B)
- 9 TYPE A SINGLE CURB PER M.A.S. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°32'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 35, TOWNSHIP 20 NORTH, RANGE 16 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NAD), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°06'24.57240"W (NAD '83) HEIGHT 2582.46311' (NAVD'83)

STONE 1/4 COR 3/2 - LATITUDE 35°08'58.53395"N, LONGITUDE 114°10'30.72281"W (NAD '83) HEIGHT 2498.20468' (NAVD'83)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D. ELEVATION: 2580.24273 FT (NAVD'83)
DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHUARUMP DR. AND HOPE RD., STAMPED "SD 34 1998 RLS 10043"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC
DATED: 15 SEPTEMBER 06
PROJECT NO.: 1050-1250

FEMA FLOOD ZONE

FEMA MAP PANEL NO. D40508 3235C
MAP UPDATED: OCT 20, 2000
PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE:

ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FLOODING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- TOP OF CURB STATIONING
- RETAINING WALL
- PERIMETER BLOCK WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5 FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
1-800-782-8348
Call before you overhead
1-877-735-5581

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



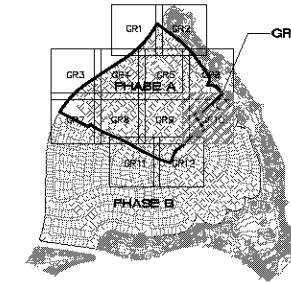
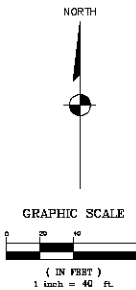
DATE	3-10-06
CHECKED BY	SH/DB
DRAWN BY	CD/RM
SCALE (V) NOTE	SCALE (H) 1" = 40'

3600 S. Estrella Avenue, Suite 300
Las Vegas, Nevada 89119
Tel: (702) 486-9793
www.stanleygroup.com

Stanley Consultants Inc.

PHOENIX ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
GRADING PLAN 9

SHEET
GR9
23 OF 79 SHEETS
SCI PROJECT#
18478



KEYMAP
N.T.S.

CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER N.A.S. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SCULPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT4)
- 8 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 222
- 9 TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NW), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°09'24.57240"W (NAD '83) HEIGHT 2582.460111' (NAVD'88)

STONE 1/4 COR 3/2 = LATITUDE 39°08'59.53385"N, LONGITUDE 114°10'30.72281"W (NAD '83) HEIGHT 2498.204681' (NAVD'88)

BENCHMARK # "SD 34" M.C.S.D. ELEVATION: 2580.24273 FT (NAVD '88)

DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHUARUMP DR. AND HOPE RD., STAMPED "SD 34 1998 RLS 10043"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC DATED: 15 SEPTEMBER 06 PROJECT NO.: 1050-1000

FEMA FLOOD ZONE

FEMA MAP PANEL NO. 040509 2329C MAP UPDATED OCT 20 2000 PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE: ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FODDING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- RETAINING WALL
- PERIMETER BLOCK WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5 FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
800-4-A-DIG
1-800-787-5548
(toll-free)

Call before you Overhead
1-878-733-5581
overhead

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

SCALE (H) 1" = 40'
SCALE (V) 1" = 10'
DRAWN BY: CD/RM
CHECKED BY: SH/DB
DATE: 3-10-06

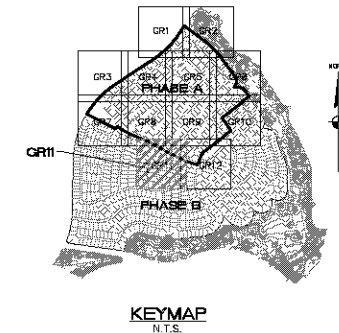
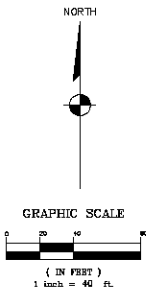
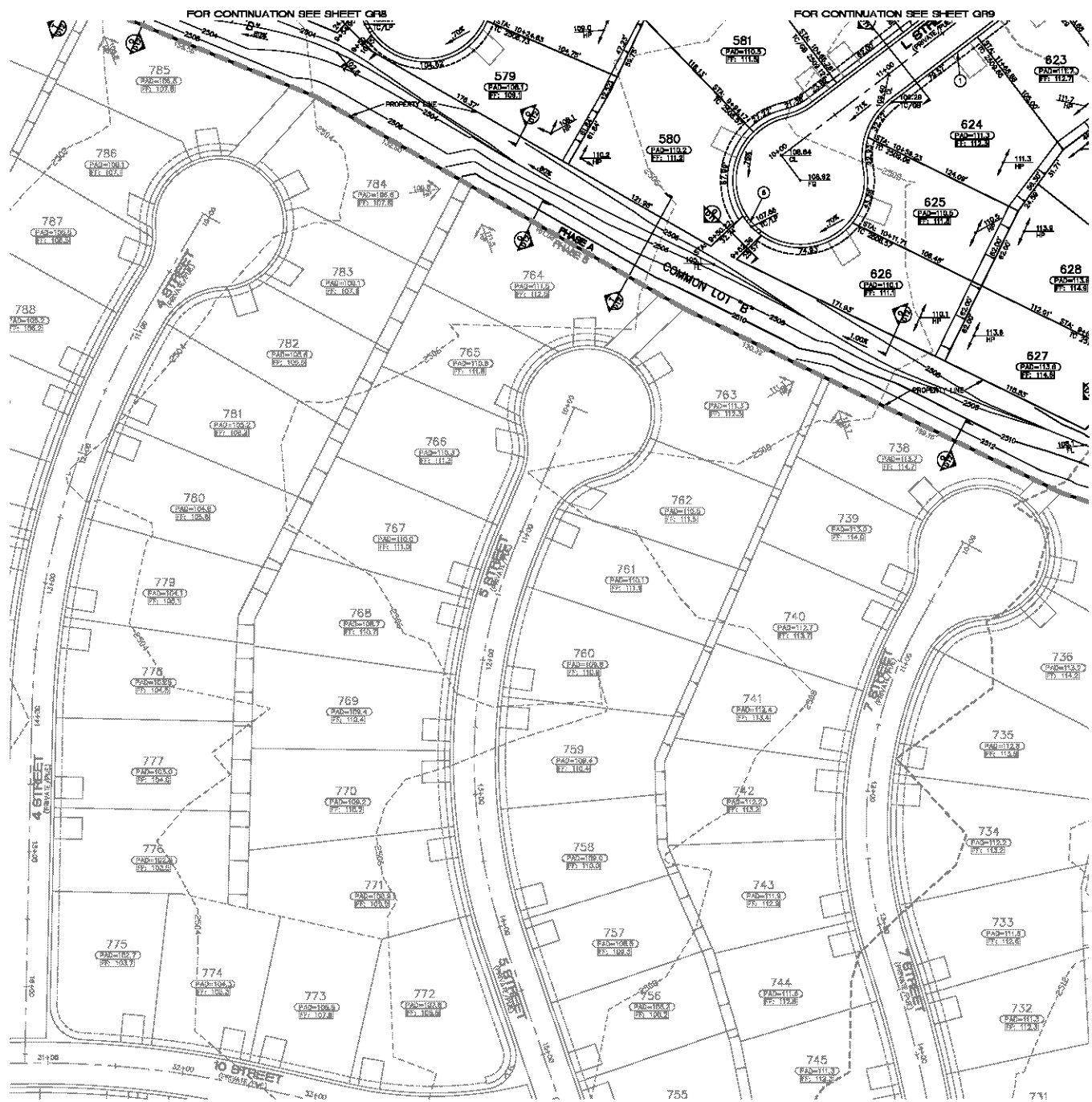
3600 S. Estrella Avenue, Suite 100
Las Vegas, Nevada 89119
Tel: (702) 365-9793
www.stanleygroup.com

Stanley Consultants Inc.

PHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
GRADING PLAN 10

ARIZONA
MOHAVE COUNTY

SHEET
GR10
24 OF 79 SHEETS
SCI PROJECT#
18478



CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SCULPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT4)
- 8 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B)
- 9 TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, GILA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-NAD), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°09'24.57240"W (NAD '83) HEIGHT 2582.463111' (NAVD'83)

STONE 1/4 COR 3/2 - LATITUDE 35°08'55.53395"N, LONGITUDE 114°10'30.72281"W (NAD '83) HEIGHT 2498.204681' (NAVD'83)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D. ELEVATION= 2580.24273 FT (NAVD '83)

DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHINARUMP DR. AND HOPE RD., STAMPED "SD 34 1998 RLS 10043"

GEOTECHNICAL NOTE:

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC DATED: 15 SEPTEMBER 06 PROJECT NO.: 1050-020

FEMA FLOOD ZONE

FEMA MAP PANEL NO. 040509 2329C MAP UPDATED OCT 03 2000 PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE: ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FODDING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- RETAINING WALL
- PERIMETER BLOCK WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5 FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Send utility submittal early. Call before you Dig. 1-800-787-5344 (7-20-09-04) Call before you Overhead. 1-928-763-5891

PRELIMINARY ISSUE FOR REVIEW NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

SCALE (H) 1" = 40'
SCALE (V) 1" = 10'
DRAWN BY: CD/RM
CHECKED BY: SH/DB
DATE: 3-10-06

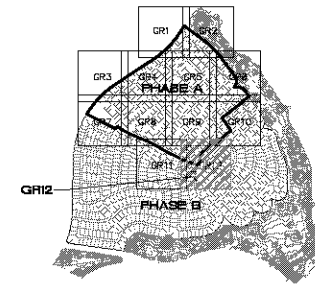
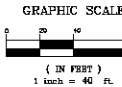
3600 S. Estrella Avenue, Suite 100
Las Vegas, Nevada 89119
Tel: 702-735-9933
Fax: 702-735-9934
www.stanleyconsultants.com

Stanley Consultants Inc.

PHOENIX ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
GRADING PLAN 11

ARIZONA
MOHAVE COUNTY

SHEET
GR11
25 OF 79 SHEETS
SCI PROJECT#
18478



KEYMAP
N.T.S.

CONSTRUCTION NOTES

- 1 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT3
- 2 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT3)
- 3 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- 4 CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT3)
- 5 VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT3)
- 6 DROP CURB PER DETAIL ON SHEET DT3
- 7 SIDEWALK SLOPPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT3)
- 8 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B)
- 9 TYPE A SINGLE CURB PER M.A.G. STD. DETAIL NO. 222

NOTE: ALL NOTES NOT USED ON ALL SHEETS

BASIS OF BEARINGS

NORTH 00°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ85-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 32" - LATITUDE 35°09'25.70034"N, LONGITUDE 114°09'24.57245"W (NAD '83) HEIGHT 2582.40511H (NAVD'83)

STONE 1/4 COR 3/2 - LATITUDE 35°08'55.53395"N, LONGITUDE 114°10'30.72281"W (NAD '83) HEIGHT 2498.20468H (NAVD'83)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D., ELEVATION: 2580.24273 FT (NAVD '83)

DESCRIPTION: ALUM CAP 2" GAL. SET IN CONC. 85 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 16 W. AND THE INTERSECTION OF SHUARUMP DR. AND HOPE RD., STAMPED "SD 34 1998 RLS 10043"

GEOTECHNICAL NOTE

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY: AMERICAN SOILS ENGINEERING, LLC DATED: 12 SEPTEMBER 05 PROJECT No: 1000-020

FEMA FLOOD ZONE

FEMA MAP PANEL NO. D40008 3329C MAP UPDATED: OCT 20, 2000

PHASE A OF AREA 1 LIES WITHIN AN AREA DESIGNATED AS A FEMA FLOOD ZONE "C", WHICH IS OUTSIDE THE AREA OF THE 100 YEAR STORM.

NOTE

ADD 2400' TO ALL ELEVATIONS LESS THAN 500' ON AREA 1 GRADING PLANS TO GET ACTUAL ELEVATION.

LEGEND

- DRIVEWAY
- HIGH POINT SWALE DIRECTION
- EXISTING GRADE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FODDING
- PAD HIGH POINT ELEVATION
- FLOODLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- RATE & DIRECTION OF SLOPE
- PERIMETER BLOCK WALL
- RETAINING WALL
- PROPERTY LINE
- GRADE BREAK
- EASEMENT LINE
- CENTER LINE
- EXISTING LINE
- FUTURE LINE
- SUBDIVISION/UNIT BOUNDARY
- SCARP
- FINISHED FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR
- LOT NUMBER
- SWALE
- SUBDIVISION/UNIT BOUNDARY
- 5 FT TRANSITION ("L" CURB TO "ROLL" CURB)
- CURB, GUTTER, AND SIDEWALK
- S/W RAMP
- D.E. = DRAINAGE EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
811
1-800-762-3348
(toll-free)

Call before you overhead
1-878-733-0091
overhead

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

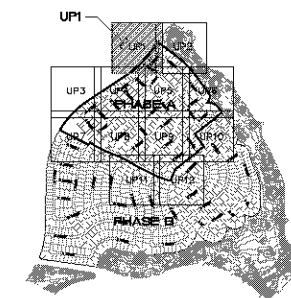
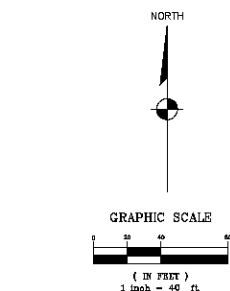
SCALE (H) 1" = 40'
SCALE (V) 1" = 10'
DRAWN BY: CD/RM
CHECKED BY: SH/DB
DATE: 3-10-06

3600 S. Estrella Avenue, Suite 300
Las Vegas, Nevada 89119
Tel: 702.735.9933
Fax: 702.735.9934
www.stanleyconsultants.com

Stanley Consultants Inc.

PHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
GRADING PLAN 12

SHEET
GR12
26 OF 79 SHEETS
SCI PROJECT#
18478



BASIS OF BEARINGS

NORTH 007°33'38" EAST - THE WEST LINE OF THE NORTHWEST QUARTER
(NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 16 WEST, CLIA &
SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE
ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE,
INTERNATIONAL FOOT (IFT), UTILIZING STATIC OBSERVATIONS
PROCESSED BY NGS-GPUS.

M.C.S.O. "SD 32" =

LATITUDE 35°09'22.70034"N,
LONGITUDE 114°06'15.67240"W (NAD '83)
HEIGHT 2667.4406114, AREA 0.00191.

M.C.S.D. *SD 32* = LATITUDE 35°09'22.70034"N,
LONGITUDE 114°09'21.67240"W (NAD '83)
HEIGHT 2562.46391ft (NAVD'88)

STONE 1/4 COR 3/2 = LATITUDE 35°08'55.53385"N,
LONGITUDE 114°10'30.72281"W (NAD '83)
HEIGHT 2496.20458ft (NAVD'88)

BENCHMARK

BENCHMARK # "SD 34" M.C.S.D.
ELEVATION- 2590.24273 IFT (NAVD '88)

DESCRIPTION: ALUM CAP 2" DIA., SET IN CONC. 65 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R.18 W. AND THE INTERSECTION OF SHINARUMP DR. AND HOPE RD., STAMPED "SD 34 1999 RLS 10343."

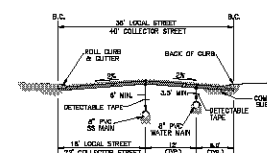
SEWER CONSTRUCTION NOTES

1. INSTALL 48" DIAMETER MANHOLE PER M.A.G. STANDARD DETAIL NO. 420
2. INSTALL 8" PVC SEWER MAIN
3. INSTALL 4" PVC SEWER LATERAL PER M.A.G. STANDARD DETAIL NOS. 440-1 AND 440-4
4. INSTALL 8" PVC SEWER STUB & CAP

WATER CONSTRUCTION NOTES

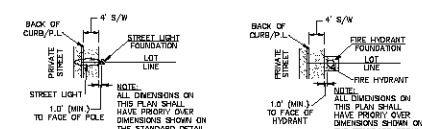
- ① INSTALL 8" PVC PIPE CLASS 150 MEETING REQ. OF A.W.W.A. C-900
 - ② INSTALL FREE FLOWING ASSEMBLY PER
M.A.G. STANDARD DETAIL NO. 360
 - ③ INSTALL 8" GATE VALVE \ VALVES
 - ④ INSTALL 11.25° BEND
 - ⑤ INSTALL 22.5° BEND
 - ⑥ INSTALL 45° BEND
 - ⑦ INSTALL 90° BEND
 - ⑧ INSTALL 9" x 8" x 6" TEE
 - ⑨ INSTALL 8" x 8" x 6" 90° CROSS
 - ⑩ INSTALL 1" WATER LATERAL W. 3/4" WATER METER
PER SHEET B, D714
 - ⑪ 6" CAP W/ BLOW-OFF PER M.A.G. STANDARD DETAIL NO. 390
 - ⑫ REMOVE EXISTING CAP & CONNECT TO EXIST. 6" WATER LINE
- NOTE: ALL NOTES NOT USED ON ALL SHEETS.

NOTE: ALL NOTES NOT USED ON ALL SHEETS.



TYPICAL WATER AND GS MAIN LINE SECTION





N.T.S. NOTE:
INSTALL N.A.G. STANDARD DETECTABLE LOCATOR TAPE OR
PLASTIC COATED (BLUE FOR WATER AND GREEN
FOR SEWER) AS WIRE FOR ALL WATER AND SEWER LINES.











STREETLIGHT LOCATION

FIRE HYDRANT LOCATION






LEGEND

120	LOT NUMBER
— — — — —	RIGHT OF WAY
	SUBDIVISION/UNIT BOUNDARY
	STREET LIGHT (100W HPS)
	WD. 3-1/2" PULL BOX
	SERVICE PEDESTAL
P.U.E.	PUBLIC UTILITY EASEMENT
C.E.	COMMON ELEMENT

WATER

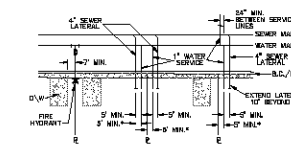
	WATER MAIN
	3/4" WATER METER
	W/ 1" COPPER WATER LATERAL
	FIRE HYDRANT ASSEMBLY
	TEE W/VALVE
	2" BLOWOFF ASSEMBLY
	GATE VALVE OR BUTTERFLY VALVE
	11 1/2", 22 1/2", 45", 90" BEND

BEWEA

	SANITARY SEWER MANHOLE
	SANITARY SEWER MAIN
	4" PVC SEWER LATERAL
	STUB AND CAP
	SEWER BACK WATER VALVE

STORM DRAIN

	STORM DRAIN MANHOLE
	STORM DRAIN INLET
	STORM DRAIN PIPE



TYPICAL WATER AND SS LATERALS
N.T.S.

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVER-HEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call
before you
Dig
BLK STAG
1-800-782-6348
D-111-0102-M

Avoid overhead power
line contact.
Call
before you
Overhead
1-978-753-5591

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

 3200 S. Eastern Avenue, Suite 200
Denver, CO 80231
(702) 369-3200 Fax (702) 369-3783
www.stanleygroup.com

Stanley Consultants INC.

PHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH

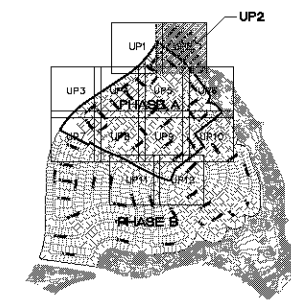
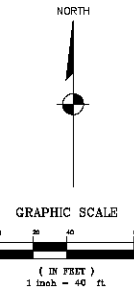
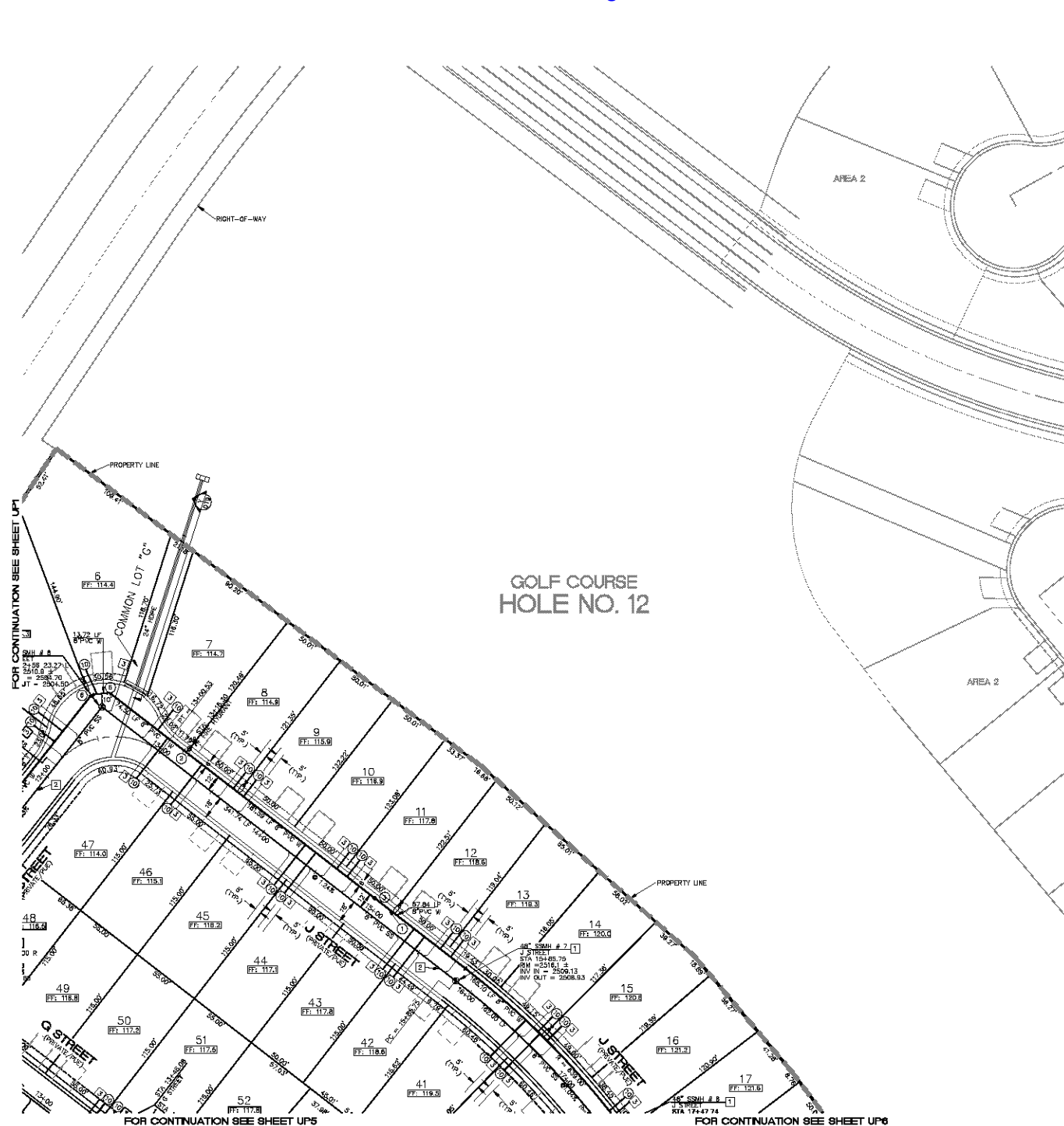
PH

MC HAVEN COUNTY

SHEET
UP1

27 OF 79 SHEETS

SCI PROJECT#
18476

KEYMAP
N.T.S.**BASIS OF BEARINGS**

NORTH 007°3'30" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, CLAS & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 32" = LATITUDE 35°09'32.70034"N
LONGITUDE 114°09'21.57240"W (NAD '83)
HEIGHT 2662.4638111 (NAVD'83)

STONE 1/4 COR 3/2 = LATITUDE 35°09'55.83385"N
LONGITUDE 114°09'30.72287"W (NAD '83)
HEIGHT 2498.2045811 (NAVD'83)

BENCH-MARK

BENCHMARK # "SD 34" M.C.S.D.
ELEVATION= 2590.84273 FT (NAVD '83)

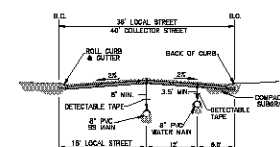
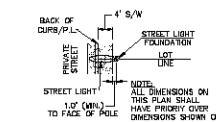
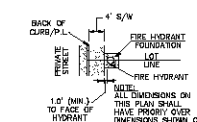
DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 65 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 35, T. 21 N., R. 18 W. AND THE INTERSECTION OF SHIMARUP DR. AND HOPE RD., STAMPED "SD 34 1098 RLS 1034.3"

SEWER CONSTRUCTION NOTES

1. INSTALL 48" DIAMETER MANHOLE PER M.A.G. STANDARD DETAIL NO. 430
2. INSTALL 8" PVC SEWER MAIN
3. INSTALL 4" PVC SEWER LATERAL PER M.A.G. STANDARD DETAIL NOS. 440-3 AND 440-4
4. INSTALL 8" PVC SEWER STUB & CAP

WATER CONSTRUCTION NOTES

1. INSTALL 8" PVC PIPE CLASS 150 MEETING RES. OF A.W.W.A. C-900
 2. INSTALL FIRE HYDRANT ASSEMBLY PER M.A.G. STANDARD DETAIL NO. 390
 3. INSTALL 8" GATE VALVE & VALVES
 4. INSTALL 11.25' BEND
 5. INSTALL 22.5' BEND
 6. INSTALL 45' BEND
 7. INSTALL 90' BEND
 8. INSTALL 8"x 8"x 8" TEE
 9. INSTALL 8"x 8"x 8" CROSS
 10. INSTALL 1" WATER LATERAL W/ 3/4" WATER METER PER SHEET 6, D14
 11. 8" CAP W/ BLOW-OFF PER M.A.G. STANDARD DETAIL NO. 390
 12. REMOVE EXISTING CAP & CONNECT TO EXIST. 8" WATER LINE
- NOTE: ALL NOTES NOT USED ON ALL SHEETS.

TYPICAL WATER AND SEWER MAIN LINE SECTION
N.T.S.STREET LIGHT LOCATION
N.T.S.FIRE HYDRANT LOCATION
N.T.S.**LEGEND**

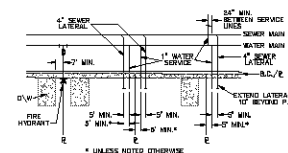
- | | |
|-----|---------------------------|
| 120 | LOT NUMBER |
| --- | RIGHT OF WAY |
| --- | SUBDIVISION/UNIT BOUNDARY |
| --- | STREET LIGHT (100W HPS) |
| --- | NO. 3-1/2" PULL BOX |
| --- | SERVICE PEDESTAL |
| --- | P.U.E. |
| --- | PUBLIC UTILITY EASEMENT |
| --- | C.E. |
| --- | COMMON ELEMENT |

WATER

- | | |
|-----|---------------------------------|
| --- | WATER MAIN |
| --- | 3/4" WATER METER |
| --- | W/ 1" COPPER WATER LATERAL |
| --- | FIRE HYDRANT ASSEMBLY |
| --- | TEE W/ VALVE |
| --- | 2" BLOW-OFF ASSEMBLY |
| --- | GATE VALVE OR BUTTERFLY VALVE |
| --- | 11 1/4", 22 1/2", 45", 90" BEND |
-
- | | |
|-----|------------------------|
| --- | SANITARY SEWER MANHOLE |
| --- | SANITARY SEWER MAIN |
| --- | 4" PVC SEWER LATERAL |
| --- | STUB AND CAP |
| --- | SEWER BACK WATER VALVE |

STORM DRAIN

- | | |
|-----|---------------------|
| --- | STORM DRAIN MANHOLE |
| --- | STORM DRAIN INLET |
| --- | STORM DRAIN PIPE |

TYPICAL WATER AND SEWER LATERALS
N.T.S.**DISCLAIMER NOTE**

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
800-782-5548
(toll-free)

Call before you Overhead
1-878-733-5581
(toll-free)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



DATE	BY	REVISION

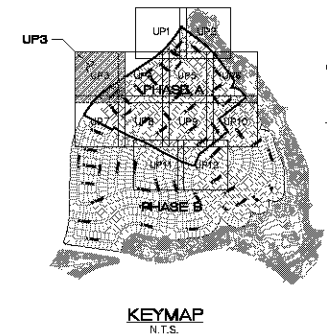
SCALE (H) 1" = 40'
SCALE (V) NONE
DRAWN BY CD/RM
CHECKED BY SH/DB
DATE 3-10-06

3600 S. Estrella Avenue, Suite 100
Las Vegas, Nevada 89119
Tel: (702) 360-9793
www.stanleyconsultants.com





Stanley Consultants Inc.

PHODES HONES ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
UTILITY PLAN 2









SHEET
UP2
28 OF 79 SHEETS
SCI PROJECT#
18478








LEGEND

120	LOT NUMBER
— — — — —	RIGHT OF WAY
	SUBDIVISION/UNIT BOUNDARY
	STREET LIGHT (100W HPS)
	WD. 3-1/2" PULL BOX
	SERVICE PEDESTAL
P.U.E.	PUBLIC UTILITY EASEMENT
C.E.	COMMON ELEMENT



WATER

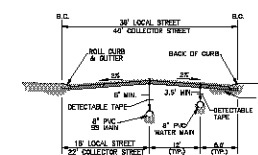
	WATER MAIN
	3/4" WATER WATER
	W/ 1" COPPER WATER LATERAL
	FIRE HYDRANT ASSEMBLY
	TEE W/ VALVE
	2" BLOWOFF ASSEMBLY
	GATE VALVE OR BUTTERFLY VALVE
	11 1/4", 22 1/2", 48", 90" BEND

SEWER

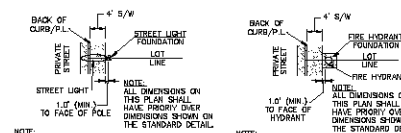
	SANITARY SEWER MANHOLE
	SANITARY SEWER MAIN
	4" PVC SEWER LATERAL
	STUB AND CAP
	SEWER BACK WATER VALVE

STORM DRAIN

	STORM DRAIN MANHOLE
	STORM DRAIN INLET
	STORM DRAIN PIPE



TYPICAL WATER AND SS MAIN LINE SECTION



<p>NOTE: IN LOCATIONS WHERE LIGHT POLE IS NOT ADJACENT TO A SIDEWALK, FACE OF POLE TO BE 3' FROM BACK OF CURB.</p> <p><u>STREET LIGHT LOCATION</u> N.T.S.</p>	<p>THE STANDARD DETAIL</p>	<p>NOTE: IN LOCATIONS WHERE FIRE HYDRANT IS NOT ADJACENT TO A SIDEWALK, FACE OF HYDRANT TO BE 3' FROM BACK OF CURB.</p> <p><u>FIRE HYDRANT LOCATION</u> N.T.S.</p>	<p>THE STANDARD DETAIL</p>
--	----------------------------	---	----------------------------

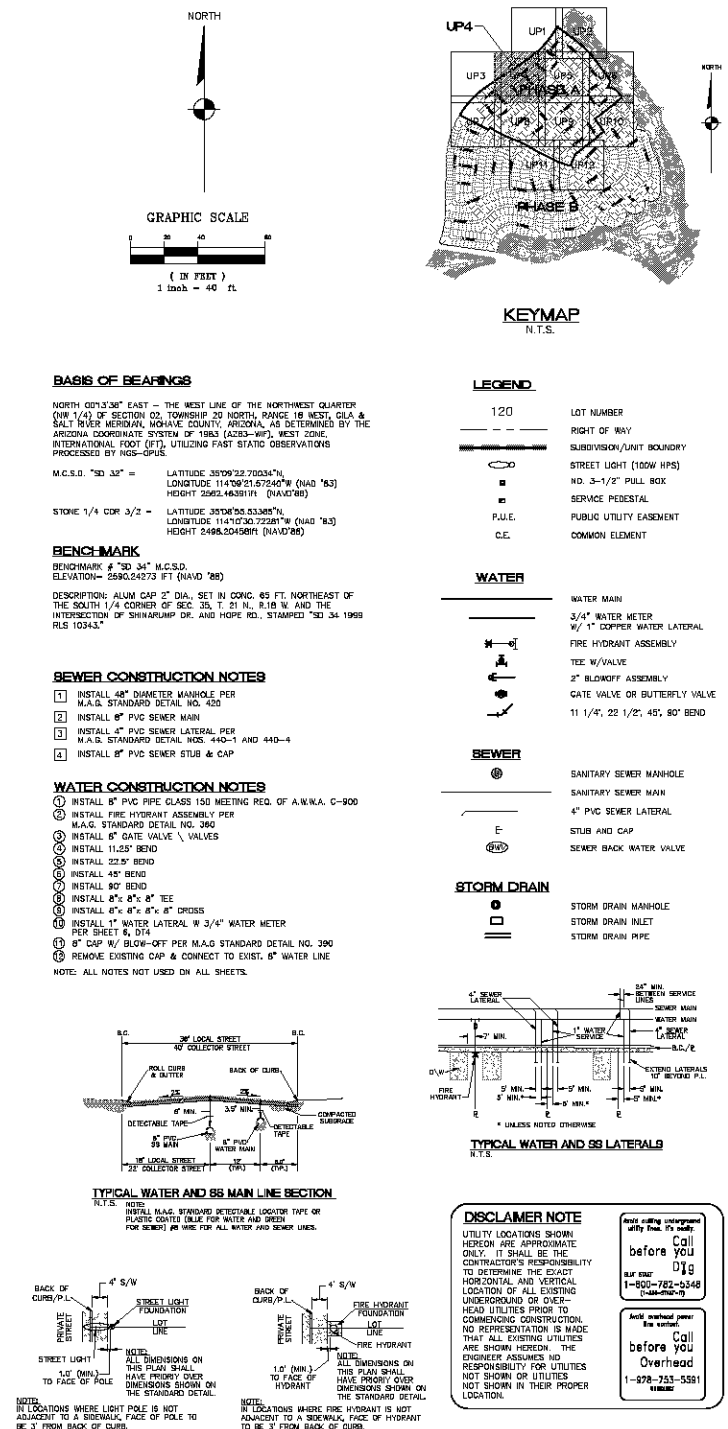
DISCLAIMER NOTE

DISCLAIMER NOTE

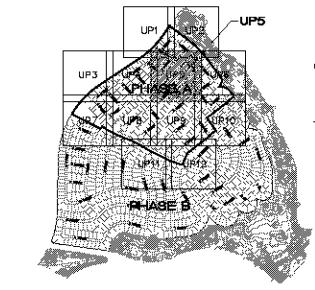
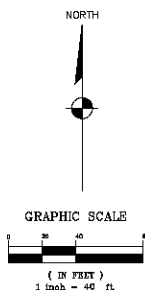
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVER-HEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

**Call you
before you
Dig**
BLK STAG
1-800-782-6548
(1-800-STAG-77)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06



SHEET
UP4
30 OF 79 SHEETS
SCI PROJECT#
18476



BASIS OF BEARINGS

NORTH 00°33'30" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, CLAS & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY HDS-GRS.

N.C.S.D. "SD 34" = LATITUDE 35°09'32.70334"N
LONGITUDE 114°09'21.67240"W (NAD '83)
HEIGHT 2682.463811' (NAVD'83)

STONE 1/4 COR 3/2 = LATITUDE 35°09'35.83385"N
LONGITUDE 114°09'20.72287"W (NAD '83)
HEIGHT 2498.204581' (NAVD'83)

BENCH MARK

BENCHMARK # "SD 34" N.C.S.D.
ELEVATION= 2580.54273 FT (NAVD '88)

DESCRIPTION: ALUM CAP 2" DIA. SET IN CONC. 65 FT. NORTHEAST OF THE SOUTH 1/4 CORNER OF SEC. 30, T. 21 N., R. 18 W. AND THE INTERSECTION OF SHAWNEE DR. AND HOPE RD., STAMPED "SD 34 1098 RLS 10343"

LEGEND

120	LOT NUMBER
---	RIGHT OF WAY
---	SUBDIVISION/UNIT BOUNDARY
---	STREET LIGHT (100W HPS)
---	NO. 3-1/2" PULL BOX
---	SERVICE PEDESTAL
---	PUBLIC UTILITY EASEMENT
---	COMMON ELEMENT

WATER

---	WATER MAIN
---	3/4" WATER METER
---	W/ 1" COPPER WATER LATERAL
---	FIRE HYDRANT ASSEMBLY
---	TEE W/ VALVE
---	2" BLOWOFF ASSEMBLY
---	DATE VALVE OR BUTTERFLY VALVE
---	11 1/4", 22 1/2", 45", 90" BEND

SEWER

---	SANITARY SEWER MANHOLE
---	SANITARY SEWER MAIN
---	4" PVC SEWER LATERAL
---	STUB AND CAP
---	SEWER BACK WATER VALVE

STORM DRAIN

---	STORM DRAIN MANHOLE
---	STORM DRAIN INLET
---	STORM DRAIN PIPE

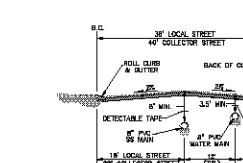
SEWER CONSTRUCTION NOTES

1. INSTALL 48" DIAMETER MANHOLE PER M.A.G. STANDARD DETAIL VOL. 430
2. INSTALL 8" PVC SEWER MAIN
3. INSTALL 4" PVC SEWER LATERAL PER M.A.G. STANDARD DETAIL NOS. 440-3 AND 440-4
4. INSTALL 8" PVC SEWER STUB & CAP

WATER CONSTRUCTION NOTES

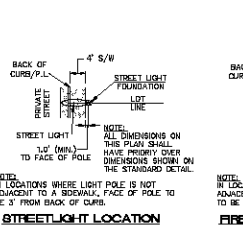
1. INSTALL 8" PVC PIPE CLASS 150 MEETING REQ. OF A.W.W.A. C-900
2. INSTALL FIRE HYDRANT ASSEMBLY PER M.A.G. STANDARD DETAIL NO. 390
3. INSTALL 8" DATE VALVE & VALVES
4. INSTALL 11.25" BEND
5. INSTALL 22.5" BEND
6. INSTALL 45" BEND
7. INSTALL 90° BEND
8. INSTALL 8" x 8" x 8" TEE
9. INSTALL 8" x 8" x 8" CROSS
10. INSTALL 1" WATER LATERAL W/ 3/4" WATER METER PER SHEET 6, DTA
11. 2" CAP W/ BLOW-OFF PER M.A.G. STANDARD DETAIL NO. 390
12. REMOVE EXISTING CAP & CONNECT TO EXIST. 8" WATER LINE

NOTE: ALL NOTES NOT USED ON ALL SHEETS.



TYPICAL WATER AND SS MAIN LINE SECTION

NOTE: INSTALL M.A.G. STANDARD DETECTABLE LOCATION TAPE OR PLASTIC COATED BLUE FOR WATER AND GREEN FOR SEWERS IN WIRE FOR ALL WATER AND SEWER LINES.



DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
Call before you dig
Call before you dig

1-800-782-5548
1-800-782-5548
1-800-782-5548

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 3-10-06

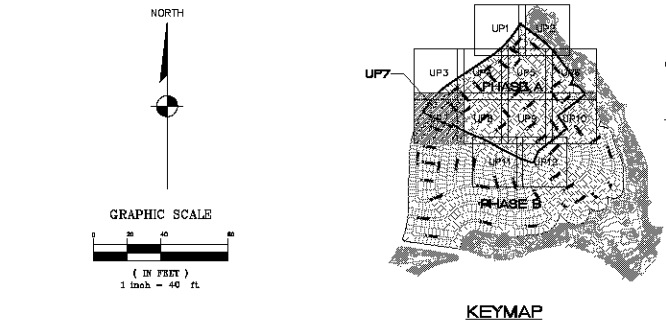
Stanley Consultants Inc.

3600 S. Estrella Avenue, Suite 1300
Las Vegas, Nevada 89119
Tel: (702) 486-9793
www.stanleyconsultants.com




PHOENIX ARIZONA, LLC
GOLDEN VALLEY RANCH
AREA 1 - PHASE A
UTILITY PLAN 5

ARIZONA
MOHAVE COUNTY









SHEET
31 OF 79 SHEETS
SCI PROJECT# 18478








LEGEND

120	LOT NUMBER
---	RIGHT OF WAY
	SUBDIVISION/UNIT BOUNDARY
	STREET LIGHT (100W HPS)
	ND. 3-1/2" PULL BOX
	SERVICE PEDESTAL
P.U.E.	PUBLIC UTILITY EASEMENT
C.E.	COMMON ELEMENT

WATER

	WATER MAIN
	3/4" WATER METER
	1" COPPER WATER LATERAL
	FIRE HYDRANT ASSEMBLY
	TEE W/VALVE
	2" BLOWOFF ASSEMBLY
	GATE VALVE OR BUTTERFLY VALVE
	11 1/4", 22 1/2", 45", 90" BEND

SEWER

	SANITARY SEWER MANHOLE
	SANITARY SEWER MAIN
	4" PVC SEWER LATERAL
	STUB AND CAP
	SEWER BACK WATER VALVE

STORM DRAIN

	STORM DRAIN MANHOLE
	STORM DRAIN INLET
	STORM DRAIN PIPE

TYPICAL WATER AND SS LATERALS

And drilling underground
with the best of us.

Call
before you
Dig
BLIT START
1-800-782-6348
D-111-0000-0

Avoid overhead power
 line contact.
 Call
 before you
 Overhead
 1-978-753-5591
 9100002

RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH AREA 1 - PHASE A UTILITY PLAN 7 MOHAVE COUNTY	SHEET UP7 33 OF 78 SHEETS SCI PROJECT# 18476
---	---

DE DRAINAGE EASEMENT - COMMON LOT 'F' ABOVE
TO BE PRIVATELY MAINTAINED
N.T.S.

NOTE: IN LOCATIONS WHERE LIGHT POLE IS NOT ADJACENT TO A SIDEWALK, FACE OF POLE BE 3' FROM BACK OF CURB.

STREET LIGHT LOCATION

NOTE:
IN LOCATIONS WHERE FIRE HYDRANT IS NOT
ADJACENT TO A SIDEWALK, FACE OF HYDRANT
TO BE 3' FROM BACK OF CURB.

FIRE HYDRANT LOCATION